

An aerial photograph of a town, likely Wentzville, is shown with a semi-transparent blue overlay. The image features residential neighborhoods with houses and apartment complexes, commercial areas with larger buildings, and a winding road. A yellow horizontal bar is at the top, and another is at the bottom. The text 'WE ARE Wentzville' is centered in white, with 'WE ARE' in a bold sans-serif font and 'Wentzville' in a larger, elegant serif font. A white diagonal line crosses the text, and a horizontal line is positioned below 'Wentzville'.

WE ARE Wentzville

COMPREHENSIVE PLAN
UPDATE

DISCOVERY REPORT - DECEMBER 2025

Note to Readers:

This 'Discovery Report' is the first deliverable (product) in the update of the comprehensive plan for Wentzville. It represents the end of the first phase of the planning process. This report focuses on:

- Community Engagement and Community Survey
- Community Trends and Characteristics

This report should be considered an **"In-Progress" document** and will be updated and edited, as needed, for inclusion in the draft and final Comprehensive Plan update. The intent of this document is to provide a foundation of existing conditions, data, research, and analysis for the formation of the draft and final comprehensive plan.

Data included in this report is from a variety of sources. The latest available and frequency of data varies by source.

It is important to note that this initial report represents the findings, data, and opinions of the Planning Team and is for informational and discussion purposes only. This report should not imply any current endorsement by the City of Wentzville, Council, or the Planning & Zoning Commission.

Thank you for taking the time to read this document and be part of the planning process. Future deliverables include:

- Draft Comprehensive Plan (Spring 2026)
- Final Comprehensive Plan (Summer 2026)

Updates during the planning process, including how to be involved, are available at: www.WeAreWentzville.org

Comprehensive Plan Schedule



Acknowledgments

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The City of Wentzville is updating its Comprehensive Plan to reflect the community's continued growth. Since the last Comprehensive Plan update in 2018, which is updated by the July 2022 supplement document, Wentzville has experienced a population increase of 27% with continued growth in ways that require thoughtful planning to ensure that Wentzville remains a vibrant, well-connected community.

Wentzville is a great community to live, work and raise a family. This update to the City's Comprehensive Plan will help shape a community vision for the next ten years; guiding decisions on land use, roadway and utility infrastructure, economic development, housing, parks and recreation, and overall quality of life.

The Comprehensive Plan outlines community goals and recommends actionable steps to achieve them. It serves as the City's primary policy document for guiding and managing future growth. As a policy tool, the plan informs decisions related to capital improvement budgeting, zoning decisions, subdivision regulations and more.





COMMUNITY ENGAGEMENT

Engagement Overview

Community engagement has been an important part of the comprehensive planning process. Highlights of the community engagement to date include:

- June 5: Board of Aldermen Work Session
- June 9: Planning & Zoning Commission Work Session
- July 29: Home Owner Association (HOA) Focus Group
- Aug 6 & 7: Stakeholder Meetings
- October 15: Community Open House #1
- October 1 - November 15: Community Online Survey

Upcoming engagement:

- Board of Aldermen and Planning & Zoning Commission meeting: Winter
- Community Open House #2: Late Winter
- Community Open House #3: Late Spring



Planning and Zoning Commission Work Session (June 9, 2025)

The planning team held a work session with the Planning and Zoning Commission on June 9, 2025. The purpose of the meeting was to provide members with an overview of the comprehensive plan update process and schedule, as well as to conduct a listening session to gather their insights on key community issues. A facilitated series of open-ended questions was presented, and the questions along with a summary of responses are provided below.

“What do you like best about living in Wentzville?”

Responses highlighted Wentzville’s family-friendly, small-town feel combined with modern amenities and good planning. Values include a strong sense of community, good neighbors, and overall high standards, along with the city’s convenient location that still offers peace, space, and a comfortable distance from busier areas. Responses also highlighted quality parks, recreation facilities, and schools, as well as the city’s reputation for being safe, well-maintained, and a place where people of all ages get along as the community continues to grow.

“What are the three biggest challenges for Wentzville over the next 20 years?”

Wentzville’s biggest challenges over the next 20 years will center on managing rapid growth while preserving the community’s character. Concerns frequently mentioned include increasing traffic and congestion, keeping infrastructure and transportation systems adequate, and ensuring planned, consistent development. Members also worry about rising housing and land costs, maintaining strong building and maintenance standards, and protecting the city’s sense of space, peace, and quality of life. Additionally, sustaining a diverse and viable business base, so tax revenue remains strong, and supporting local “mom and pop” establishments were also mentioned.

“If you could change one thing about Wentzville, what would it be?”

Many responses focused on improving infrastructure, especially addressing traffic challenges and ensuring infrastructure is planned proactively before new development occurs. Others would like to see more bike trails, additional greenspace, and larger lots in new neighborhoods. Some mentioned reducing taxes or limiting the number of nonconforming development requests. A few noted there was nothing they would change, while one response wished Wentzville were closer to their workplace.

“Looking out 20 years in the future (2045), and you are writing to a friend or relative recommending why they should move to Wentzville, what would you say (how would you describe the City)?”

Responses included a future Wentzville in 2045 that is welcoming, well-designed, and self-contained community that offers everything a family needs (great services, strong amenities, and good value for the cost of living). Members hope it retains its small-town feel, quiet neighborhoods, and sense of safety, where kids can play outside and community events bring people together. Responses also included a vibrant, walkable city with ample greenspace, clean air, and good neighbors, along with practical conveniences like accessible facilities and affordable starter homes. Above all, members want Wentzville to preserve the qualities that already make it a great place to live.

HOA Focus Group

(July 29, 2025)

The planning team held a focus group with Homeowner Association (HOA) leaders on July 29, 2025. The City distributed more than 400 invitations to HOA representatives, and thirty-eight leaders registered to attend. Attendees responded to a series of guided questions, first discussing their thoughts in small groups before sharing highlights with the full room. Group input was recorded on large sheets. At the end of the session, participants used a dot-voting exercise to identify which ideas and issues they felt were most important.

Questions and top responses included:

“What do you like best about living in Wentzville?”: Schools, Small town feel, location (far enough away from St. Louis, but close to other assets), and Mayor and city staff are open and responsive.

“What are the three biggest challenges for Wentzville in the next 20 years?”: Infrastructure, developer accountability, and future leadership.

“If you could change one thing about Wentzville, what would it be?”: Slow down growth, infrastructure, revitalize old town, and long-term thinking.



**IF YOU COULD CHANGE
① THING ABOUT WENTZVILLE
WHAT WOULD IT BE?**

- Long-term thinking, less short-term decisions
- Revitalize Old Town
- Limit new housing capacity
- More upscale restaurants/shopping (less chains)
- Ensure rentals complete contracts
- Ratio of homeowners vs. renters
- Less agenda-pushing school board members
- Slow down growth
- Builder/government accountability
- Infrastructure
- No chickens
- Rent Control

**WHAT ARE THE 3
BIGGEST CHALLENGES
FOR WENTZVILLE IN
THE NEXT 20 YEARS?**

- Infrastructure (roads, traffic...)
- School bonds + overcrowding
- Taxes
- Senior Services
- Community uplift vs. political centers
- Vacant buildings
- Too many apartments
- Developer accountability
- Safety
- Police/fire/sewer/water
- Widening of highways
- Good, future leadership

**WHAT DO YOU LIKE
BEST ABOUT LIVING
IN WENTZVILLE?**

- Schools
- Safe
- Mayor + City Admin are open, responsive
- Close to variety of retail (etc)
- First responders - responsive, friendly
- Close enough/far enough away from STL
- Close to airport
- Small town feel
- Parks/Golf courses
- Flock cameras

Stakeholder Meetings

(August 6 and 7, 2025)

The stakeholder meetings on August 6 and 7, 2025, were an opportunity for the planning team to talk with community organizations one-on-one or in small groups to help identify key community issues, especially to help shape the community survey that started in October 2025.

Meetings on August 6th focused on individual organizations and included:

- Wentzville Fire District
- Wentzville School District
- GM Assembly Plant
- David Hoekel Parkway (DHP), South of I-70, Landowners
- St. Charles County Realtors (Aug 15 via Zoom)

Meetings on August 7th brought together a variety of organizations for small-group discussions. Listed below are the businesses and organizations that registered to participate. Please note that some individuals represented more than one organization or business.

- | | |
|---|--|
| • Bethel Hills Community | • Wentzville Downtown Business Association |
| • Crossroads Arts Council | • Wentzville Downtown Committee |
| • Ellbee's General Store | • Wentzville Networking Group |
| • First Step Back Home, Inc. | • Wentzville Planning and Zoning Commission |
| • Kiwanis | • Western St. Charles County Chamber of Commerce |
| • Linn Cemetery | • Wentzville United Methodist Church |
| • Luetkenhaus Properties | |
| • Preferred Family Healthcare | |
| • Sleep In Heavenly Peace: Wentzville | |
| • Step by Step Counseling LLC | |
| • St Charles County System of Care | |
| • Wentzville Board of Aldermen | |
| • Wentzville Communication Ambassadors | |
| • Wentzville Community Club | |
| • Wentzville Community Historical Society | |



Stakeholder Meetings

(August 6 and 7, 2025)

The stakeholder meetings helped identify key community issues, which in turn informed the development of the community survey released later in October. Several common themes and insights emerged during these discussions, which are highlighted below.

Wentzville Strengths

- Small town feel (even rural), but with amenities.
- Community pride.
- Location (local convenience and regional access).
- Good place for families and good quality of life (school district, safety, parks, etc.).
- City leadership and first responders.

Wentzville Challenges / Concerns

- Loss of the small town atmosphere (some said it’s already lost).
- Infrastructure (traffic congestion, maintenance, capacity of utilities).
- Fiscal Impacts.
- Growing need for social services.
- Viable commercial growth (not having vacancies in 20 yrs).
- Different visions for growth.

Wentzville Opportunities

- Downtown (Old Town).
- Hospital (but also some apprehension).
- Identity/Uniqueness.
- Transitioning from building to maintaining.

Growth Issues

- Positives (increase in businesses, amenities, etc.) vs Concerns (infrastructure, loss of green space, too fast, etc).
- Concerns about affordability.
- Different views on residential housing density.
- Concerns about apartments, but also some discussion on ownership vs rental aspect.

Open House #1

(October 15, 2025)

An in-person open house was held on Wednesday, October 15, 2025, at the Wentzville Rec Center from 5:00 - 7:30pm. The meeting was an open house format with no formal presentation, so attendees were able to stop in anytime.

The purpose of the open house was to give attendees an opportunity to learn about the planning process, review existing conditions and trends, and share their feedback. Attendees were also encouraged to complete the comprehensive plan community survey, which had launched earlier in the month, to provide more in-depth input. Approximately 60 people attended the open house.

Input and feedback heard at the open house is incorporated in the discussion of key take aways in the next section.





WHAT WE HAVE DISCOVERED

KEY TAKE AWAYS OF ENGAGEMENT, SURVEY, AND TRENDS

Introduction

This Discovery Report has identified several key community issues that will inform the next phase of the Comprehensive Plan, which will focus on developing a community vision and goals. These issues, consistently raised through community engagement, survey responses, stakeholder interviews, and trend analysis - emerge as central to shaping Wentzville's future. They represent significant concerns and priorities for the community and form the foundation for evaluating alternative growth and development scenarios.

It is important to note that this Discovery Report does not recommend solutions to these issues. Growth scenarios and related community goals will be explored in the next phase of the planning process and will ultimately guide the policies included in the final Comprehensive Plan.

The Importance of Old Town

A key theme across community meetings, the survey, and trends analysis is the importance of Wentzville's downtown (Old Town). Residents see Downtown Wentzville as the historic heart of the community and an important opportunity for revitalization. Survey responses and stakeholder comments show a strong desire to strengthen Old Town with more unique shops, restaurants, and locally owned businesses - and importantly, not more chain stores. Residents want a walkable, bike-friendly, and more vibrant district with gathering spaces, outdoor dining, and community events that create the kind of small-town character they fear is being lost elsewhere in the city. Many compare the potential of Downtown Wentzville to places like Main Street St. Charles or Cottleville and believe that intentional investment could transform it into a true destination. Overall, residents view downtown revitalization as key to reinforcing Wentzville's identity, supporting local businesses, and building a cohesive community gathering place.

However, there are potential threats to Old Town. In the survey, younger residents (ages 34 and younger) identified the Wentzville Parkway as the heart of Wentzville.

Learn More

- Summary of August 6 & 7 stakeholder meetings.
- Question 20 of survey results (Where is the heart of Wentzville).



Balancing Growth

Wentzville has experienced tremendous growth in recent decades, and many residents take great pride in how the community has grown. However, residents overwhelmingly believe Wentzville should carefully manage its future growth because they see both the benefits and the impacts of rapid expansion, and they want to make sure the positives aren't overshadowed by negative impacts. According to the community survey, 96% of residents agree that growth must be balanced with its effects on infrastructure, traffic, community character, and the natural environment.

There was no clear consensus on how Wentzville should grow. The next phase of the planning process will analyze undeveloped areas within the city and its planning area and evaluate the potential impacts of various growth scenarios.

How the city grows is an important topic, as Wentzville could add over 28,000 additional residents by 2050 if current trends continue.

Learn More

- Summary of August 6 & 7 stakeholder meetings.
- Question 8 of survey results (Biggest concerns facing Wentzville).
- Question 10 of survey results (Future growth statements).
- 'Population Projections' section of Characteristics and Trends chapter.

“96% of residents agreed
that Wentzville should carefully
manage future growth to balance
opportunities with impacts.”

Importance of Open Space and Natural Areas

Residents often mentioned the open spaces and ruralness of Wentzville as key reasons they chose to live there. Younger residents in particular placed a high priority on natural areas, connected greenways, and improved access to parks and trails. However, there are concerns that those qualities are being lost. In the community survey, loss of open space and natural areas was one of the top concerns, selected by 43% of all residents as one of the three biggest long-term issues facing the City

As remaining undeveloped land becomes more limited, planning must examine how Wentzville can balance growth with long-term open space and the city's system of greenways, parks, and natural areas.

Learn More

- Question 8 of survey results (Biggest concerns facing Wentzville).



Housing Options and Affordability

The pace and form of residential development was one of the most frequently mentioned issues during engagement. While Wentzville's housing market is strong, residents raised concerns about lot sizes, housing diversity, rental versus ownership balance, affordability for seniors and first-time buyers, and perceived “overbuilding” of apartments and dense subdivisions. At the same time, stakeholders emphasized the importance of offering a range of housing options to meet evolving demographic and economic needs.

There wasn't a consensus on preferred development types. There were some strong opinions about the amount of apartments, however, Wentzville has the least number of multi-family units compared to other cities in St. Charles County.

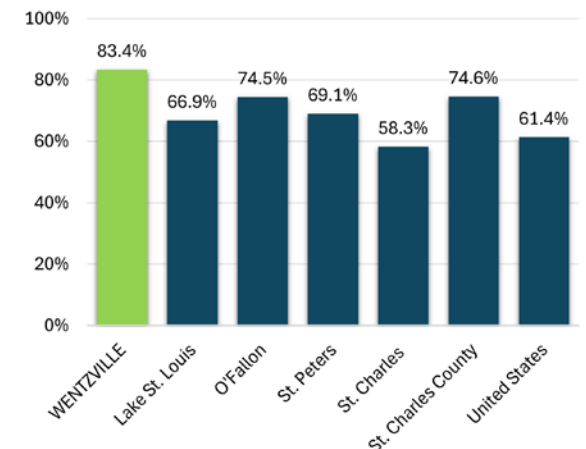
The next phase of planning should consider how future growth can provide more choices while reinforcing community expectations regarding quality, design, and neighborhood character.

Learn More

- ‘Housing’ section of the Characteristics and Trends chapter.
- Question 15 of survey results (Housing options).

Single Family Homes as Percent of All Housing Units

Source: 2023 U.S. Census, American Community Survey



Diversifying the Economy

Economic diversification was not a major theme in the community survey; however, some residents did express concern about Wentzville becoming too much of a “bedroom community” with limited employment options. A diverse economic base is, nonetheless, an important component of a community’s long-term fiscal health.

Analysis of existing characteristics and trends shows that jobs in Wentzville are concentrated in four primary sectors: manufacturing (notably the GM Assembly Plant), education (Wentzville School District), retail, and dining/accommodations. Commuting patterns reveal that many Wentzville residents leave the city for employment, primarily traveling east, while many individuals who work in Wentzville commute in from the west, including from Lincoln and Warren counties. Only a small portion of Wentzville’s workforce both lives and works within the city.

While there is no single “correct” mix of job sectors, a more diversified economic base can strengthen the tax structure, reduce commuting (and related congestion), increase economic resiliency, and create more local employment opportunities for residents.

Learn More

- ‘Jobs’ and ‘Commuting’ sections of the Characteristics and Trends chapter.



Community Identity

Many residents feel that Wentzville’s small-town character, one of the community’s top strengths, is increasingly threatened by rapid growth, chain store retail expansion, and uniform subdivision patterns. Numerous survey comments described the loss of “what made Wentzville special,” while stakeholders emphasized the importance of protecting historic areas, rural edges, and the community’s unique sense of place.

Many residents believe Wentzville’s small-town character can be preserved, even as the city continues to grow, by focusing on areas such as downtown, community events, and the overall quality and style of new development. Others acknowledge that the community’s character is changing, but view this evolution as positive, noting that new residents and rising household incomes bring valuable opportunities.

While there is no single “right” definition of community identity, how a community presents itself plays an important role in attracting both residents and businesses.

Learn More

- Question 6 of survey results (Why you love living in Wentzville).
- Question 7 of survey results (Strengths of Wentzville).



Social Services

Social services are often beyond the scope of the community services that a city typically provides. However, as Wentzville continues to grow, the community will experience a rising need for a broader and more coordinated network of social services. Stakeholder meetings highlighted a “growing need for social services” as one of the city’s emerging challenges, reflecting the realities of a rapidly expanding and diversifying population. Behavioral health support, youth and family services, and resources for seniors are likely to see increasing demand as more families move to the community, the population ages, and everyday pressures—including traffic, affordability, and commuting intensify. Organizations that participated in the engagement process already provide support for many social services, but continued growth will require strengthened partnerships, expanded capacity, and better access to these services.

A coordinated approach with St. Charles County, nonprofits, faith-based groups, the hospital, and community organizations will be essential to supporting residents as Wentzville grows.

Learn More

- Summary of August 6 & 7 stakeholder meetings.





COMMUNITY SURVEY RESULTS

Survey Marketing

The Wentzville city-wide survey was conducted from late September through late November 2025. It was available online through the comprehensive plan website (www.WeAreWentzville.org) or directly via a survey link. Although the publicized deadline was November 15, 2025, the survey remained open afterward to continue gathering input and provide additional opportunities for residents to participate. The findings presented in this Discovery Report reflect all responses received as of November 24, 2025.

There were a total of 440 responses to the survey. The analysis that follows focuses solely on respondents who live in Wentzville, those who selected either “I live in Wentzville” or “I live and work in Wentzville.” This results in a total of 383 resident responses.

While marketing efforts generated strong overall awareness of the survey, this awareness did not fully translate into completed responses.

Over 49,000 Views on Facebook

The City of Wentzville and the i5Group (the planning consultant) made extensive use of Facebook to promote both the survey and the October 15 open house. Beginning in late October and continuing through the survey deadline, the i5Group deployed a series of boosted (paid) Facebook posts to increase visibility and encourage participation. These efforts generated an impressive reach of 49,970 views or impressions and 817 link clicks. Note that the number of views represents total views, meaning individuals may have seen the posts more than once.

Over 22,000 ‘The Vision’ Newsletter Distribution

A survey reminder was included in the November–December issue of The Vision newsletter, which was delivered to all households in Wentzville.

Other Survey Marketing Efforts

- Over 2,200 views of the plan website (www.WeAreWentzville.org) since July 1st launch.
- Survey included in **four editions** of the Crossroads e-newsletter (26,000 subscribers)
- The Wentzville School District shared a survey flyer with parents through its Peachjar communication system.
- Survey reminders and flyers were emailed to organizations and HOA leaders who participated in the July and August stakeholder meetings.
- Additional outreach included ongoing updates through the comprehensive plan website and materials distributed at the October 15 open house.



Left and Above: Examples of Facebook marketing of the survey which resulted in over 49,000 views of the posts.

HOLIDAY NIGHT LIGHTS

Join us for a night of magic and holiday spirit! Enjoy a one-mile light display that features large, illuminated holiday scenes and tunnels of twinkling lights. Whether running, walking or driving, this festive display is a great way to experience the wonder and joy of the season close to home.

<p>❖ Drive-Thru Nov. 28-Dec. 30* 5:30-9:30 p.m.</p>	<p>❖ Santa Saturdays Saturdays through Dec. 20 5:30-9:30 p.m.</p>
<p>❖ Walk-Thru Dec. 14 and 15 5-8 p.m.</p>	<p>❖ 5K and One-Mile Fun Run Dec. 7 5-8 p.m.</p>
<p>❖ Sleigh Hayrides Mondays/Wednesdays Dec. 1-29</p>	

*These schedules vary. For details please visit www.wentzvillemo.gov/HNL.

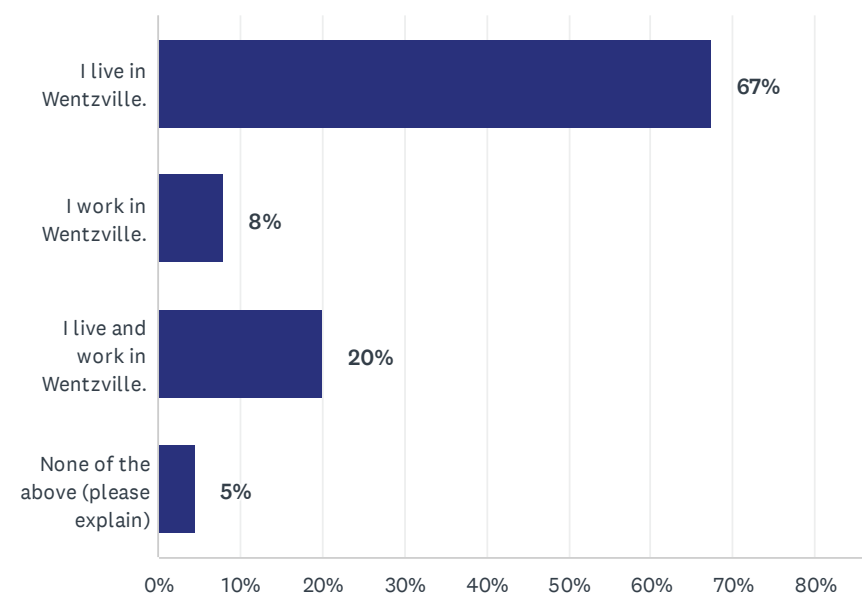
Last Chance to Complete the Comp Plan Survey!

There's still time to share your input on Wentzville's Comprehensive Plan! The Comprehensive Plan Survey has been extended through Nov. 15, giving residents, business owners and community members a chance to help shape priorities and provide recommendations for the City's future. Visit www.WeAreWentzville.org to take the survey and see updates and photos from the recent Comprehensive Plan Open House held in mid-October.

SCAN ME!

Above: A survey reminder was included in November-December edition of 'The Vision' newsletter that was delivered to over 22,000 households in Wentzville.

Q2. What best describes you? [choose one]



ALL SURVEY RESPONDENTS

Of all the survey respondents, 87% of respondents lived in Wentzville, with a significant number of respondents (20%) both living and working in the city. Of non-residents who responded to the survey, 8% of respondents worked in Wentzville and 5% were “Other.” Respondents who chose “Other” typically lived in unincorporated areas near the city.

The subsequent **survey results encompass only those respondents who live in Wentzville**, specifically those who selected “I live in Wentzville” or “I live and work in Wentzville.”

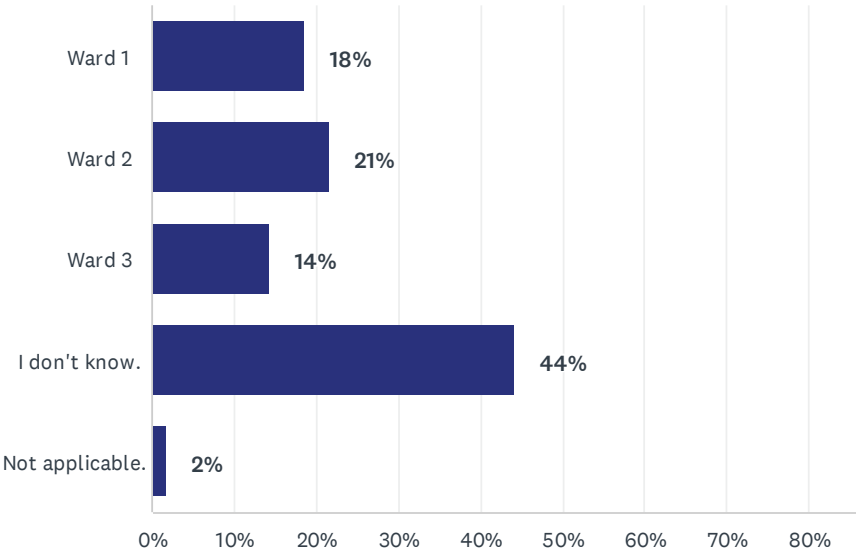
The survey results start with question two. The first survey question asked, “What is your street address?” Addresses were only used internally by the planning team to track response distribution.

- The survey data is further analyzed, where applicable, based on the following subgroups:
- New residents (residents who have lived in Wentzville five years or less).
 - Long-term residents (residents who have lived in Wentzville over 20 years).
 - Younger residents (residents who are age 34 or younger).

Survey results are as of November 24, 2025.

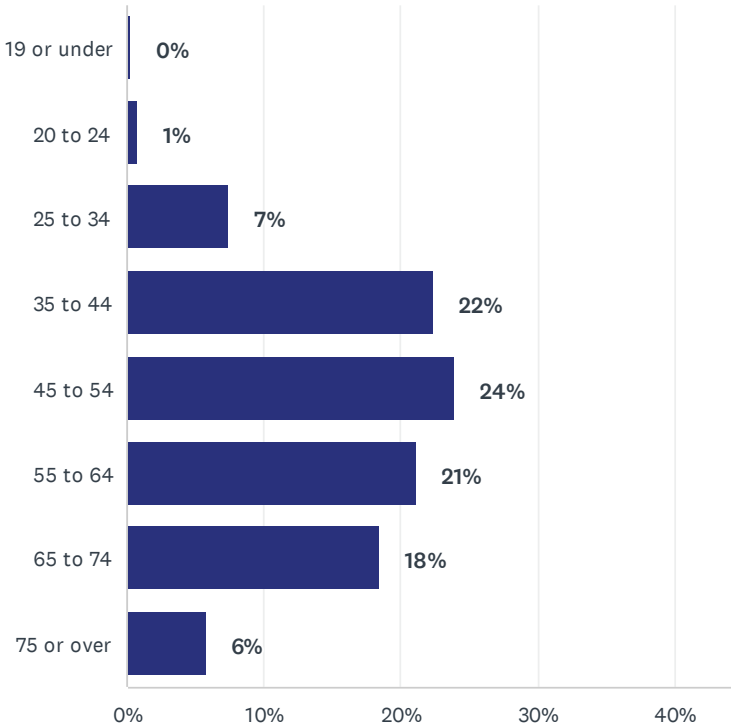
The following pages present the survey results, featuring representative comments for various questions. All comments received are included in the appendix.

Q3. What ward do you live in?



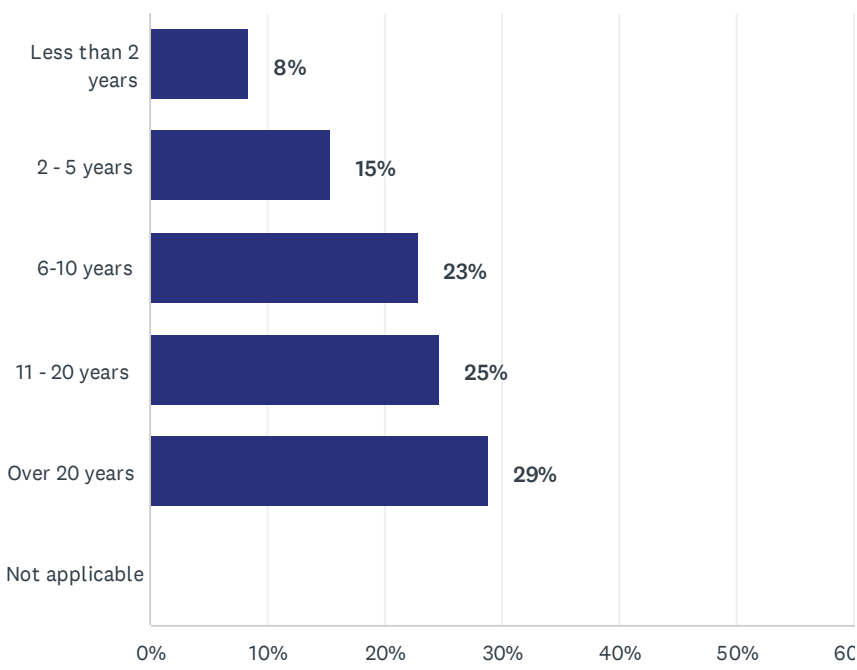
ALL RESIDENTS

Q4. What is your age?



ALL RESIDENTS

Q5. How long have you lived or worked in Wentzville??



ALL RESIDENTS

Q6. In five words or less, explain why you love living or working in Wentzville.

Summary

Residents most frequently describe Wentzville as a safe, friendly, and convenient community that offers the amenities of a growing city while still maintaining elements of a small-town feel. Many appreciate the proximity to shopping, parks, schools, and major highways, as well as the family-oriented neighborhoods and sense of community. Respondents also highlighted the natural environment, good schools, and the benefit of being close to family.

A small group of respondents used their five words to express dissatisfaction (e.g., “don’t love it anymore,” “too crowded,” etc.). However, the overwhelming share of positive responses centered on community, safety, convenience, and small-town character.

Representative Comments

“The small town community feel but with the convenience of a larger city.”

“Convenience, friendly people, small town feeling.”

“Small town feel but has everything!”

“Clean, safe, convenient, parks.”

“Feel safe and everything is close.”

“Close proximity to my children’s school.”

“Safe, good location, home, schools.”

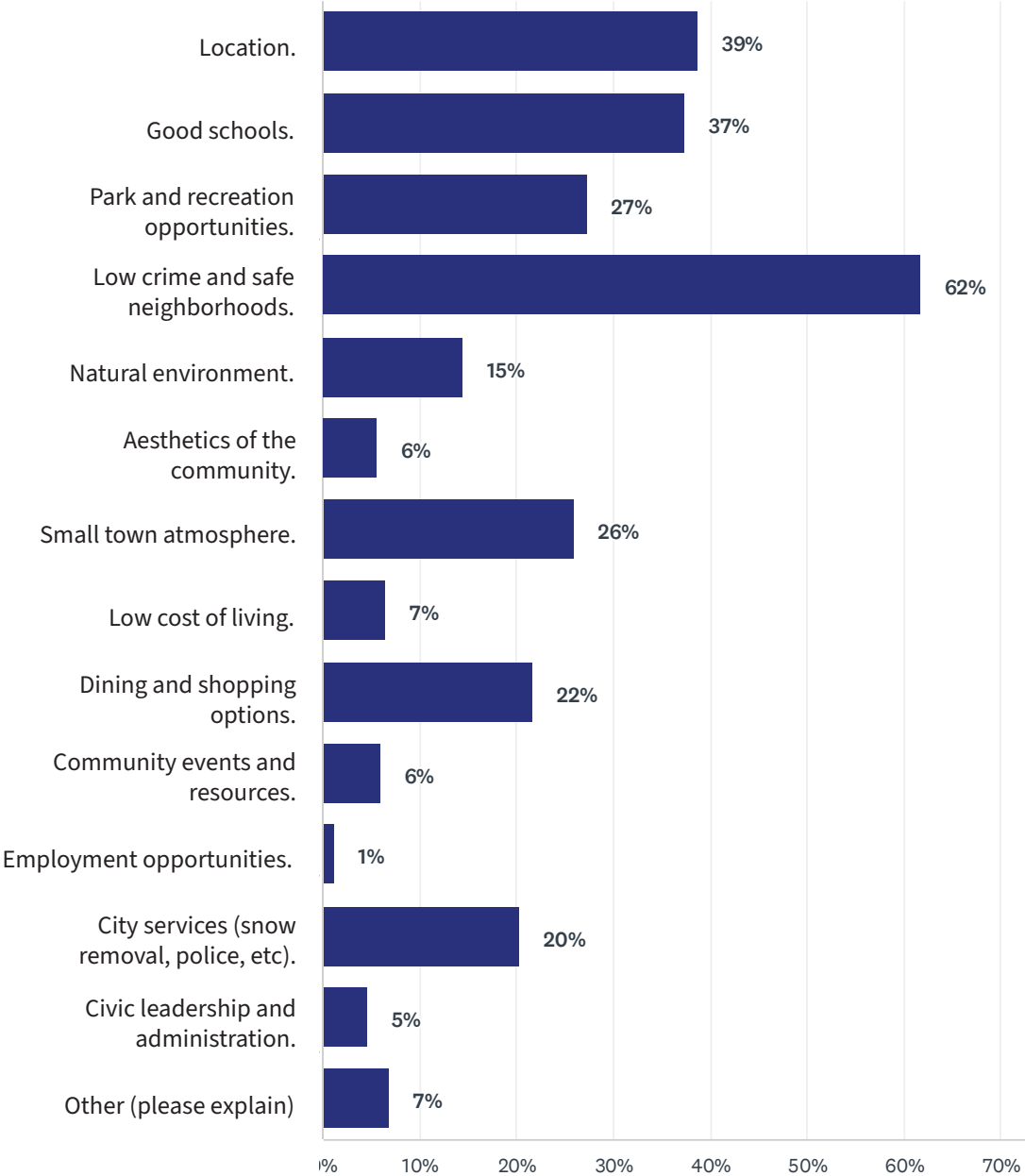
“Good community, schools and safe!”

“Sense of community.”

“I don’t anymore. It’s too crowded!”

Convenient
Schools Great
Small Town
Community
Close Safe Parks
Everything Quiet
Shopping

Q7. What are the top three strengths of living or working in Wentzville? (choose up to three)



ALL RESIDENTS

Summary

Low crime and safe neighborhoods” was by far the top strength identified by residents. A second tier of strengths included Wentzville’s location, good schools, parks and recreation opportunities, small-town atmosphere, dining and shopping options, and city services. A small share of respondents (seven percent) selected “Other,” with many of these comments expressing concerns about the loss of past strengths, such as the small-town atmosphere, due to recent growth.

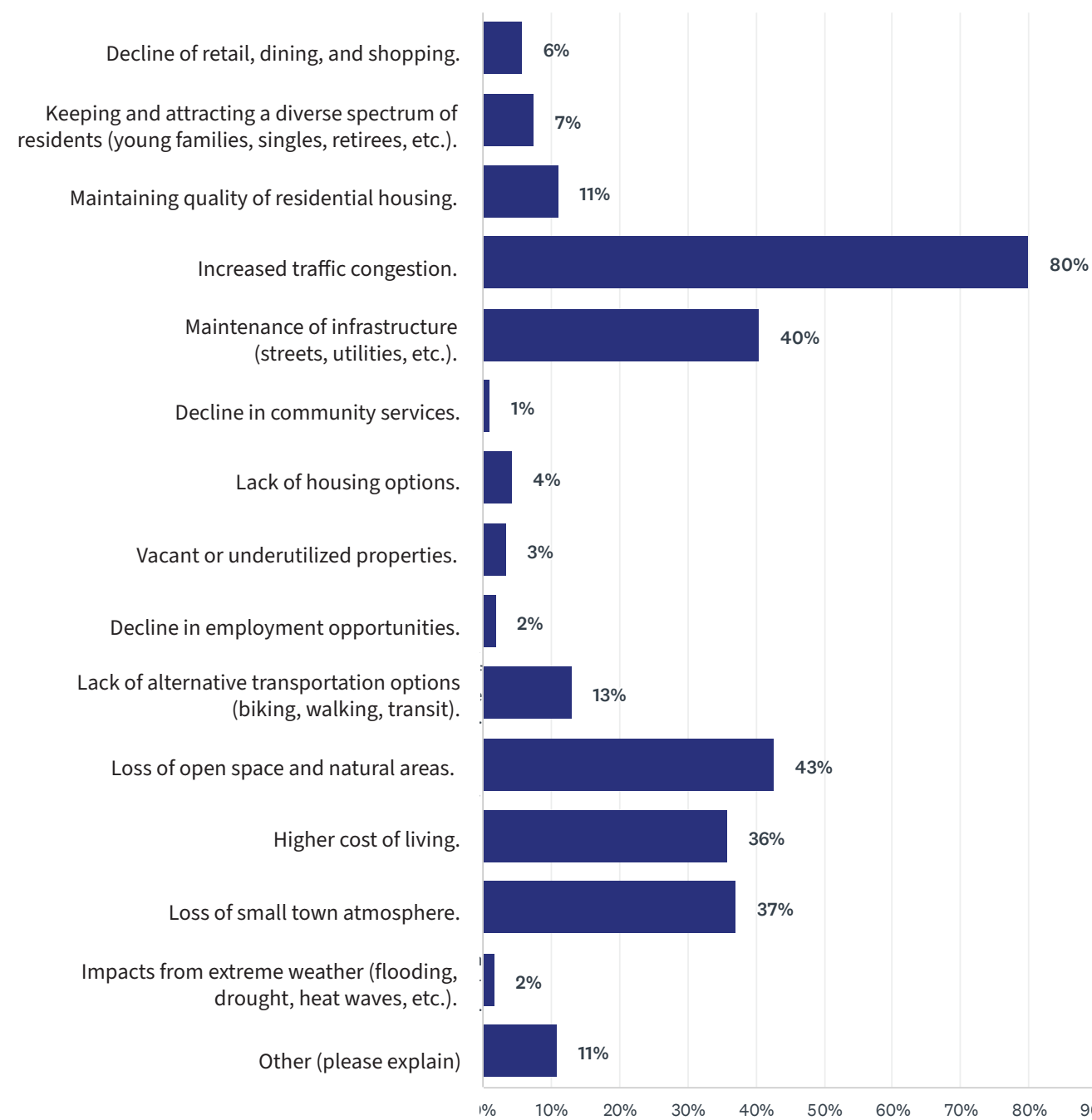
The subgroups of residents were generally similar in responses, but there were some nuances.

Younger Residents (Age 34 and under) placed a slightly higher emphasis on parks and recreation (32%), natural environment (21%), aesthetics (11%), and low cost of living (11%).

New Residents (5 years or less) placed the greatest emphasis on low crime and safe neighborhoods (67%). Perhaps surprisingly, new residents rated good schools lower (27%), but this may be that over half of the residents respondents were over the age of 45, and thus may not have school age children. New residents also rated city services lower (11%).

Long-term Residents (Over 20 years) rated good schools (40%) and parks and recreation opportunities (38%) highest of the subgroups.

Q8. What are the three biggest concerns facing Wentzville in the next 20 years? (choose up to three)



Summary

Residents overwhelmingly identified increased traffic congestion as the biggest future concern. The next tier of concerns were loss of open space and natural areas, maintenance of infrastructure, loss of small town atmosphere, and higher cost of living. “Other” responses included concerns related to growth.

Younger Residents (Age 34 and under)

were more concerned regarding the loss of open space (54%) and lack of biking and walking options (32%). This group was less concerned about traffic congestion (64%) and maintenance of infrastructure (14%).

New Residents (5 years or less)

were more concerned about the decline of retail, dining, and shopping (13%). This group was less concerned about the loss of small town atmosphere (28%).

Long-term Residents (Over 20 years)

had the most concern regarding loss of small town atmosphere (41%) compared to the other subgroups. This group was less concerned about the decline in retail, dining, and shopping (2%) and lack of biking and walking options (7%).

Q9. What is one thing you would most like to see changed in the City?

Summary

Themes of responses include:

Better Management of Growth

Many express concern that Wentzville is “growing too fast” and losing its small-town character.

Traffic Congestion and Roadway Improvements

Residents are concerned with traffic congestion. Suggestions included the need to widening roads and improving intersections.

Infrastructure Needs and Maintenance

Residents want a focus on updating and maintaining basic infrastructure: neighborhood streets, roads, sidewalks, and utilities. Residents are concerned with the increase in taxes.

Preserve Green Space and Natural Areas

Many residents fear the loss of open land, trees, and wildlife habitat. They want more parks, greenways, and trails, along with development patterns that preserve nature.

More Community Places, Amenities, and Diverse Businesses

Residents want more walkable areas, small local businesses, and community gathering places, not just chains, banks, or big-box retail. They mention entertainment options, youth activities, arts/culture spaces, and improved Old Town as priorities.

Representative Comments

“Infrastructure improvements before residential growth.”

“Road improvements to support growth.”

“Stop building apartments and large subdivisions before infrastructure can handle it”

“No more apartments or rental houses.”

“Keeping the old part of Wentzville vibrant & adding to that atmosphere. Quaint shops, restaurants, entertainment, a bakery.”

“Redevelopment of the downtown area.”

“I would like to see an active effort to revitalize old town Wentzville along the tracks.

“Love old town Wentzville, and it would be nice to bring some of that character to other parts of Wentzville.”

“Would love to see bike trails and the ability to walk or bike somewhere.”

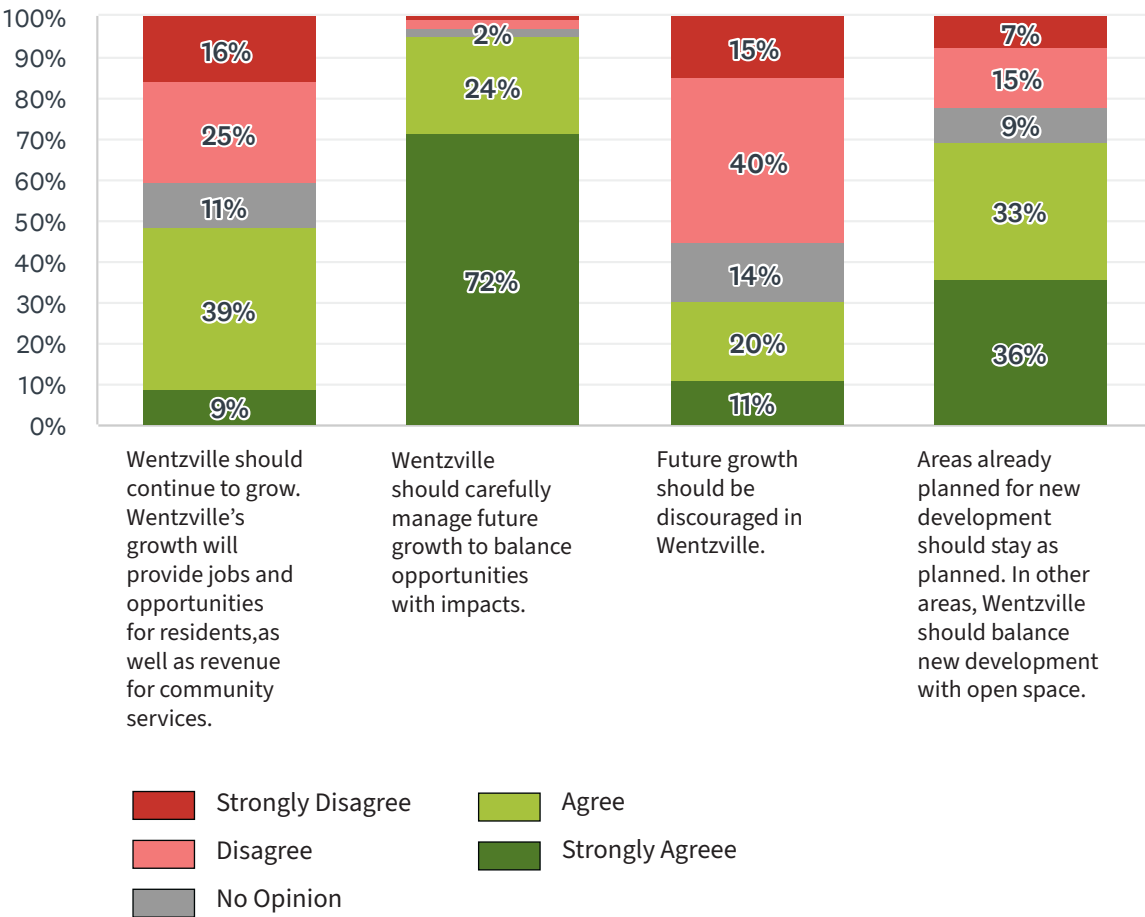
“I would have like to have seen higher quality over quantity to keep the natural aesthetic of the area.”

“Protect trees and natural spaces.”

“More entertainment venues.”

“Lower taxes.”

Q10. Wentzville has experienced rapid growth, with its population increasing by about 75% since 2010 and about 27% since the last Comprehensive Plan update in 2018. Please indicate whether you agree or disagree with each of the following statements about Wentzville’s future growth.



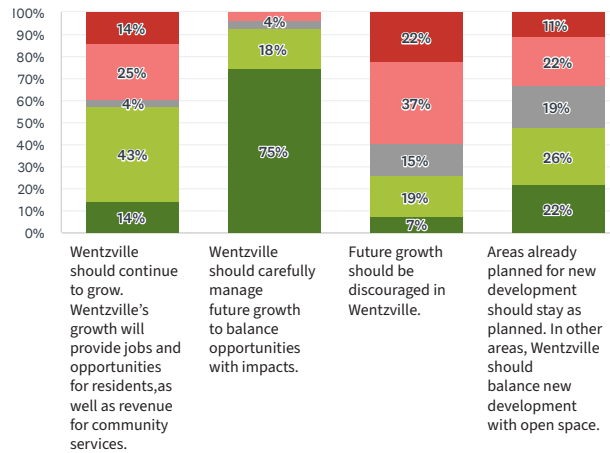
ALL RESIDENTS

The discussion of growth is an important topic for residents. Residents support continued growth in Wentzville, but with a very strong preference for doing so carefully and deliberately. Most respondents agree or strongly agree that the city should continue to grow and that growth brings jobs, opportunities, and revenue, yet an even larger share emphasize that future growth must be carefully managed to balance development with impacts on infrastructure, traffic, and community character.

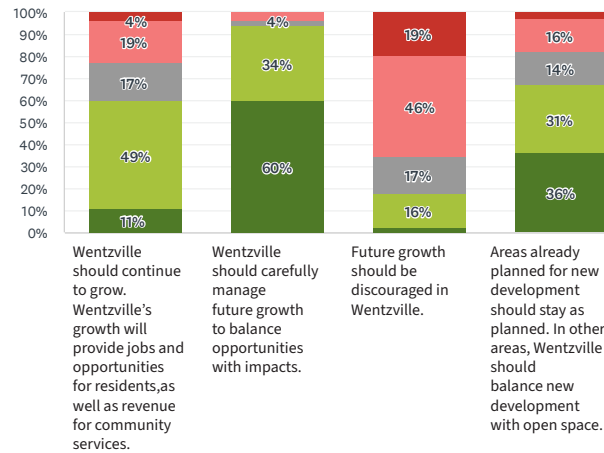
- Key survey results:
- 96% agree that Wentzville should carefully manage future growth.
 - 69% agree that areas already planned for new development should stay as planned.
 - Only 31% agree that future growth should be discouraged.

“96% of residents agreed that Wentzville should carefully manage future growth to balance opportunities with impacts.”

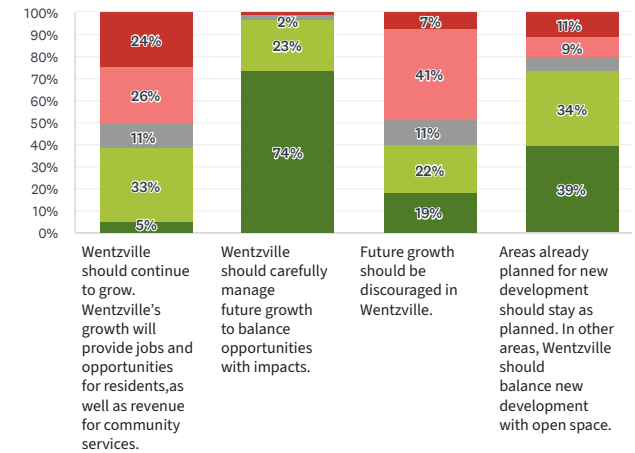
Q10. Wentzville has experienced rapid growth, with its population increasing by about 75% since 2010 and about 27% since the last Comprehensive Plan update in 2018. Please indicate whether you agree or disagree with each of the following statements about Wentzville’s future growth.



YOUNGER RESIDENTS



NEW RESIDENTS



LONG-TERM RESIDENTS



While the subgroups generally agreed with the statements, the level of support for each one varied somewhat among them:

- Long-term residents expressed the strongest desire for managed growth; younger residents and new residents express more openness to continued development. Only 38% of Long-term residents agreed with statement that Wentzville should continue to grow, while 57% of Younger residents and 60% of New residents agreed with the same statement.
- Long-term residents were more likely to want to slow or discourage growth, while newer and younger residents largely oppose restricting growth. While the plurality of long-term residents (48%) disagreed with the statement “Future growth should be discouraged in Wentzville,” Long-term residents had the highest percentage (41%) agreeing with that statement compared to Younger residents (26%) and New residents (20%) who agreed that growth should be discouraged.

Q10. Wentzville has experienced rapid growth, with its population increasing by about 75% since 2010 and about 27% since the last Comprehensive Plan update in 2018. Please indicate whether you agree or disagree with each of the following statements about Wentzville’s future growth.

Representative Comments

YOUNGER RESIDENTS

“There’s lots of land around with tons of opportunities to grow community and business. Wentzville is in a wonderful unique location & deserves to have it all.”

“Even if it is planned it should be reviewed. Once it is up, it’s up for good.”

“Wentzville has a perfect balance of natural environment and human expansion, this is the biggest draw of the city. Removing that aspect will drive people away.”

“A certain amount of growth is necessary but it also can’t grow so fast that it’s hard to get around in the community and enjoy the small town feel.”

“All areas should maintain a balance of development and ‘open space.’”

“Quality of life has decreased, and with available housing prices so high I am having to consider leaving so I can move out. I really like it here overall still and would prefer to stay.”

NEW RESIDENTS

“Increase property values with quality of life.”

“Plans may need to be reevaluated to support current & future growth. What was a need in the past may not still be the best option anymore.”

“We’ve only been here 5 years, but we see farmland or wooded areas (i.e. on Interstate Drive) disappearing at a rapid pace. One of the things we loved when we came here was how close we could be to retail/restaurants, but still feel somewhat like we were in the country. This has mostly disappeared due to the rapid development of high-density, low quality homes.”

“Growth is required to keep the city alive. The benefits of living in the area need to grow at the same rate as the infrastructure. Residents want things that make the city different from the others around, locally. Fast food is not the kind of things residents can brag about their town.”

“For every new neighborhood or few blocks there should forest with trails to walk and jog.”

LONG-TERM RESIDENTS

“Wentzville needs to focus on economic business development, bring more high paying jobs to the area and moderate residential development. It’s turning into a non sustainable bedroom community.”

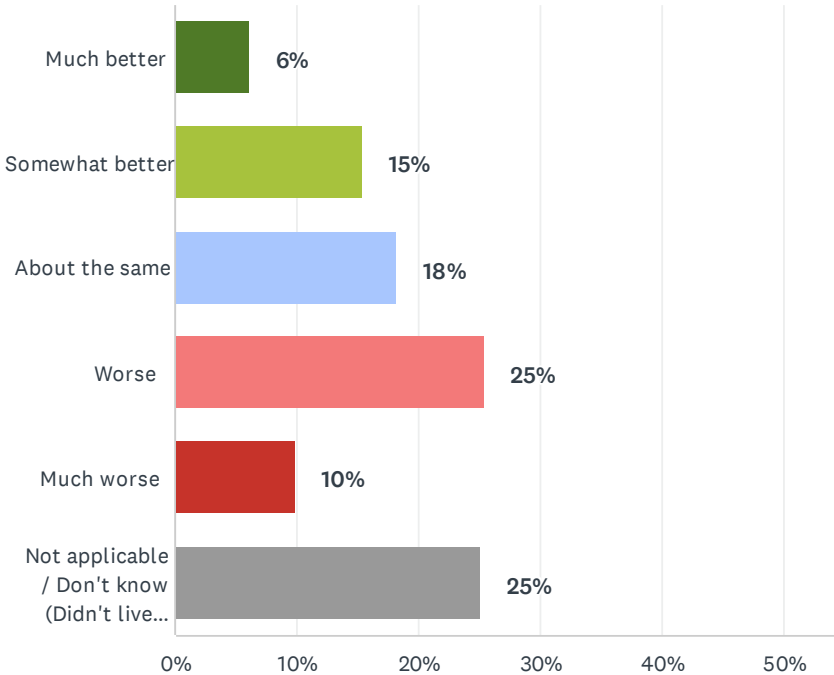
“The city already has far too much growth planned benefiting the builders and costing the community too much.”

“We are growing too fast to keep up. The small town feeling that brought us here are now gone and we are forced with the decision of moving further west/north if we want that slower quiet pace.”

“Growth is inevitable. A mixture of housing should be available for all income levels and age. Seniors especially should have some options to remain in the community that is more flexible than just home ownership.”

“The city needs to improve/maintain well what we have balanced with growth.”

Q11. How does the quality of life in Wentzville today compare to ten years ago?



ALL RESIDENTS

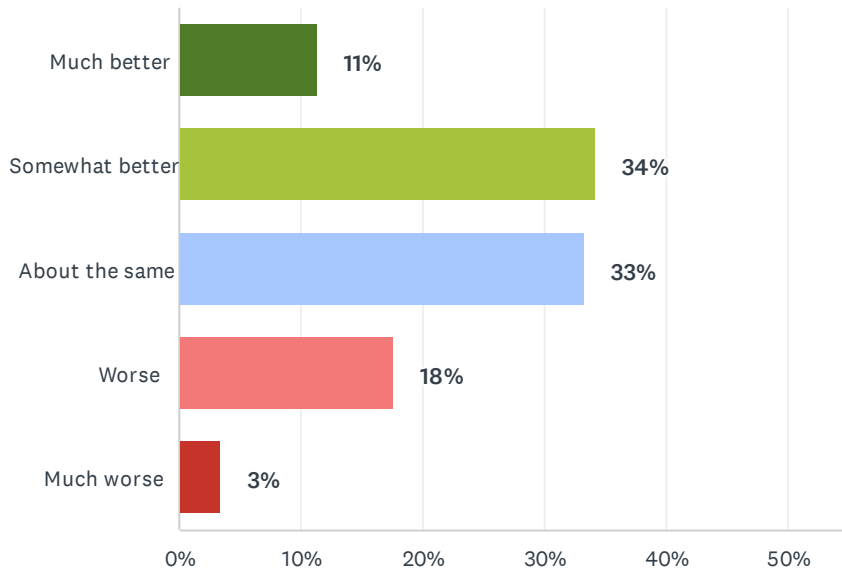
Summary

Many residents feel that quality of life in Wentzville has worsened compared to ten years ago, with a smaller share saying it is “much better” or “somewhat better.” Reasons for the decrease in quality of life included traffic congestion, rapid residential growth, rising taxes and cost of living, loss of small-town character, and diminishing green space. A notable portion said quality of life is “about the same,” while a smaller group felt it has improved due to more amenities, retail options, and services. Overall, the dominant theme is that growth has brought conveniences but also significant strain on infrastructure, affordability, and the community feel residents valued.

Representative Comments

- “I think congestion of traffic is worse, the quality of some of the neighbors is worse (don’t respect others or the laws), but diversity of businesses is better.”*
- “We do have closer access to businesses however, I am beginning to think that the elimination of trees and natural areas to put new businesses in is degrading the beauty of Wentzville.”*
- “Better because there are more restaurants and shopping and the Rec Center of course. New schools have been built to help crowding. I think the Parks department does a great job putting together fun events for the community. New roads like the Dave Hoekel parkway and Interstate Drive have really made it easy to avoid the Wentzville Parkway if I am just trying to get home.”*
- “Too much congestion, and the cost of living here is becoming to expensive”*
- “Overall availability of banks, grocery stores, parks, safety. We no longer need to drive to O’ Fallon or other places; we have it here.”*
- “I liked the small town feel Wentzville had years ago.”*

Q12. How would you rate the attractiveness of Wentzville compared to surrounding communities?



ALL RESIDENTS

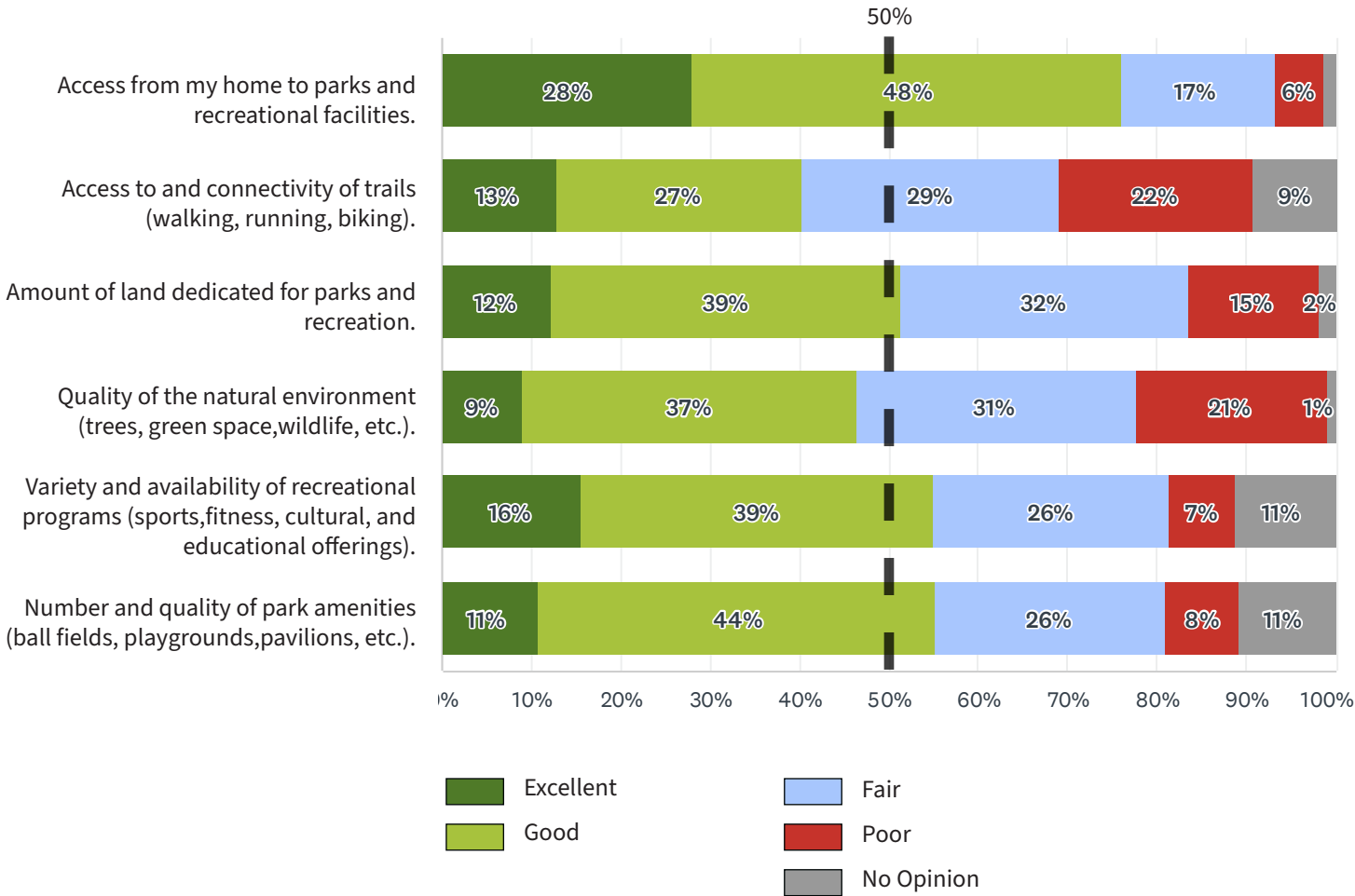
Summary

Residents generally view Wentzville as more attractive than surrounding communities. About one-third feel it is “about the same,” while only a small share rated it worse. Comments highlight that Wentzville’s newer development, parks, and conveniences contribute positively to its appearance, though some note growing concerns about congestion, increasing similarity to other suburbs, and a lack of distinctive character that sets it apart.

Representative Comments

- “Everything is new so that’s very appealing, hopefully good maintenance will follow to keep it all nice.”
- “Wentzville stands out as a more attractive option than several neighboring communities, largely due to its newer infrastructure, modern amenities, and ongoing growth.”
- “We still have some country left, where surrounding areas (O’Fallon, St. Peters, St. Charles) are all city.”
- “Our downtown is nicer. I enjoy the unique dining.”
- “Still less populated and less traffic congestion than OFallon, St Peters and better amenities than Troy and Warrenton.”
- “I appreciate efforts to create a comprehensive plan and gather community input. Long-term planning and managed growth are important.”
- “Not yet as bad as highway k but getting there.”
- “I like that there are a lot of trees and nature around, which you don’t get in larger cities. It brings a beauty and peacefulness that other areas lack.”
- “Wentzville should look at ways to revitalize old town area like Cottleville and St. Charles.”

Q13. How would you rate the following for parks, recreation, and natural areas in Wentzville:



Summary

Overall, residents rated Wentzville’s parks, recreation, and natural areas as generally good but with room for improvement. Residents appreciate the existing options, but want more trails, upgraded facilities, and expanded recreation options.

Representative Comments

“Heartland Park is one of the best things Wentzville has done.”

“Looking for connecting bike trails.”

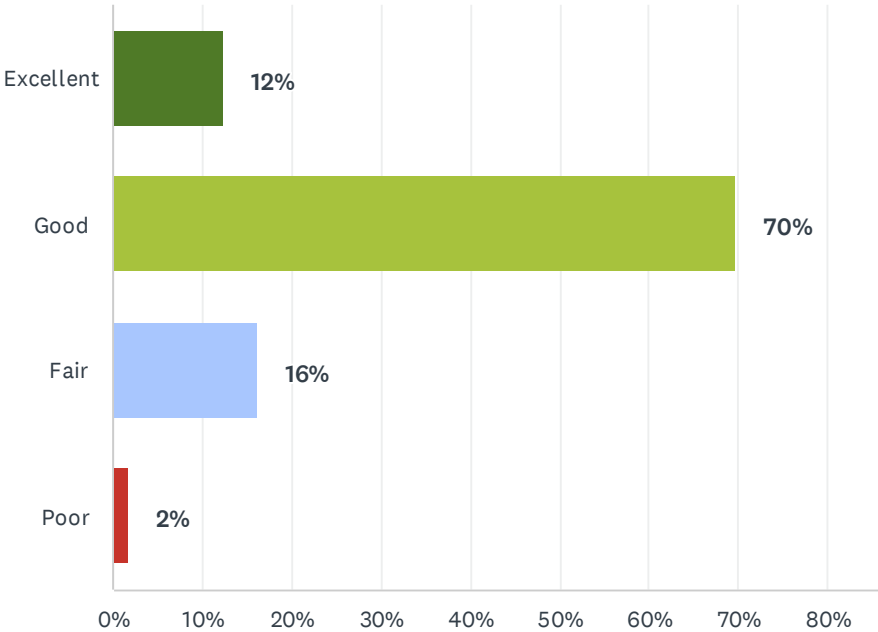
“Not enough bike paths, or accommodations for pedestrians.”

“We need more paths to connect parks, like a greenway and to preserve nature instead of building everywhere.”

“Please continue to include park areas as growth continues.”

ALL RESIDENTS

Q14. How would you rate the overall appearance of residential properties in Wentzville?



ALL RESIDENTS

Summary

Residents noted that many neighborhoods, especially newer ones, are well-maintained and visually appealing, though some pointed out that housing styles can feel repetitive and lack diversity. Overall, 87% of responses said appearance of residential properties were “Excellent” or “Good.”

A small share (18%) rated appearance as “Fair” or “Poor,” citing concerns about inconsistent upkeep, older areas needing attention, and a desire for higher property maintenance standards in parts of the community.

Representative Comments

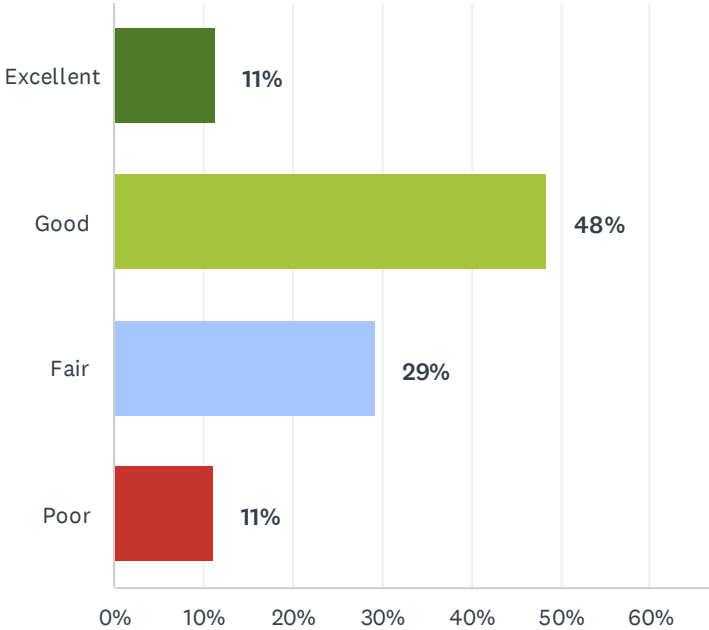
“They’re well taken care of but would love to see a variety instead of every house and neighborhood looking the same.”

“Some areas are better than others. The newer subdivisions look nicer compared to the older ones in general.”

“All the same. The same looking single-family homes are everywhere.”

“Very pleasing to drive around, would like slightly larger lots, but also want to prioritize homes for young families.”

Q15. How would you rate the existing housing options for keeping and attracting a diverse spectrum of residents (young families, singles, retirees,etc.)?



ALL RESIDENTS

Summary

While a majority of residents (59%) rate housing options as “Excellent” or “Good,” a significant number of residents had concerns about housing options. Residents consistently cited high housing costs, limited affordable starter homes, and a shortage of options for young families, singles, and seniors. Many noted that new subdivisions are large, expensive, and dominated by higher-priced homes, while affordable, entry-level, or downsizing-friendly choices are more limited. Residents also expressed concern that rents are high, apartments are too numerous, and housing growth feels unbalanced, with too little emphasis on diverse price points or home types.

Younger Residents (Age 34 and under) were the most concerned, with 22% rating housing options as “Poor” and 37% as “Fair.”

New Residents (5 years or less), perhaps unsurprisingly, given that they recently found housing, expressed more positive views of available options, with 74% rating the community’s housing choices as “Excellent” or “Good.”

Representative Comments

“The homes available are expensive and especially for young families, singles and retirees.”

“Housing is not affordable for many but it’s like that in most of the county.”

“Keep the smaller homes, starter homes. Please do not make any plans to remove the smaller homes. People need a place to start a family and grow in the city.”

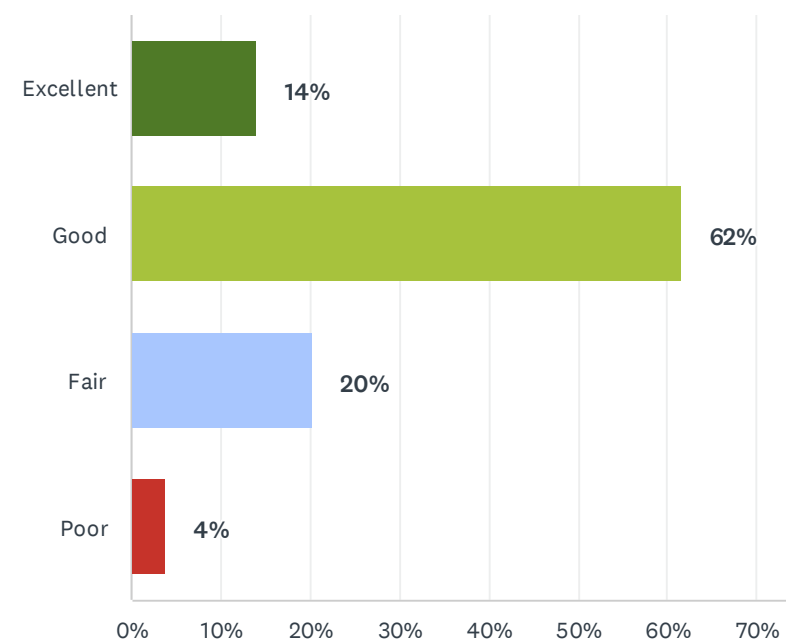
“Seniors especially should have some options to remain in the community that is more flexible than just home ownership.”

“Too expensive. Young families cannot afford to live here.”

“Young families, and young adults are priced out if Wentzville. We need more mixed use apartment businesses downtown. Like downtowns Kirkwood, Washington, or Lee’s Summit.”

“We could use some subdivisions with bigger lots.”

Q16. How would you rate the overall appearance of office, retail, and commercial buildings in Wentzville?



ALL RESIDENTS

Summary

Residents rated the overall appearance of Wentzville’s office, retail, and commercial buildings as “Good” or “Excellent,” reflecting the generally new condition of much of the city’s commercial development. However, a substantial share, about one-quarter to one-third, rated them only “Fair” or “Poor,” noting concerns about aging or poorly maintained properties in older corridors. Many comments pointed to inconsistent upkeep and buildings that appear outdated. Several residents remarked that Wentzville Parkway areas feel generic and lack character, while Old Town/Downtown was described as needing reinvestment, updates, and a more cohesive identity. Though newer commercial areas are often viewed positively, residents emphasized the need for stronger maintenance, revitalization of older areas, and more distinctive, attractive commercial design to elevate the city’s overall appearance.

Representative Comments

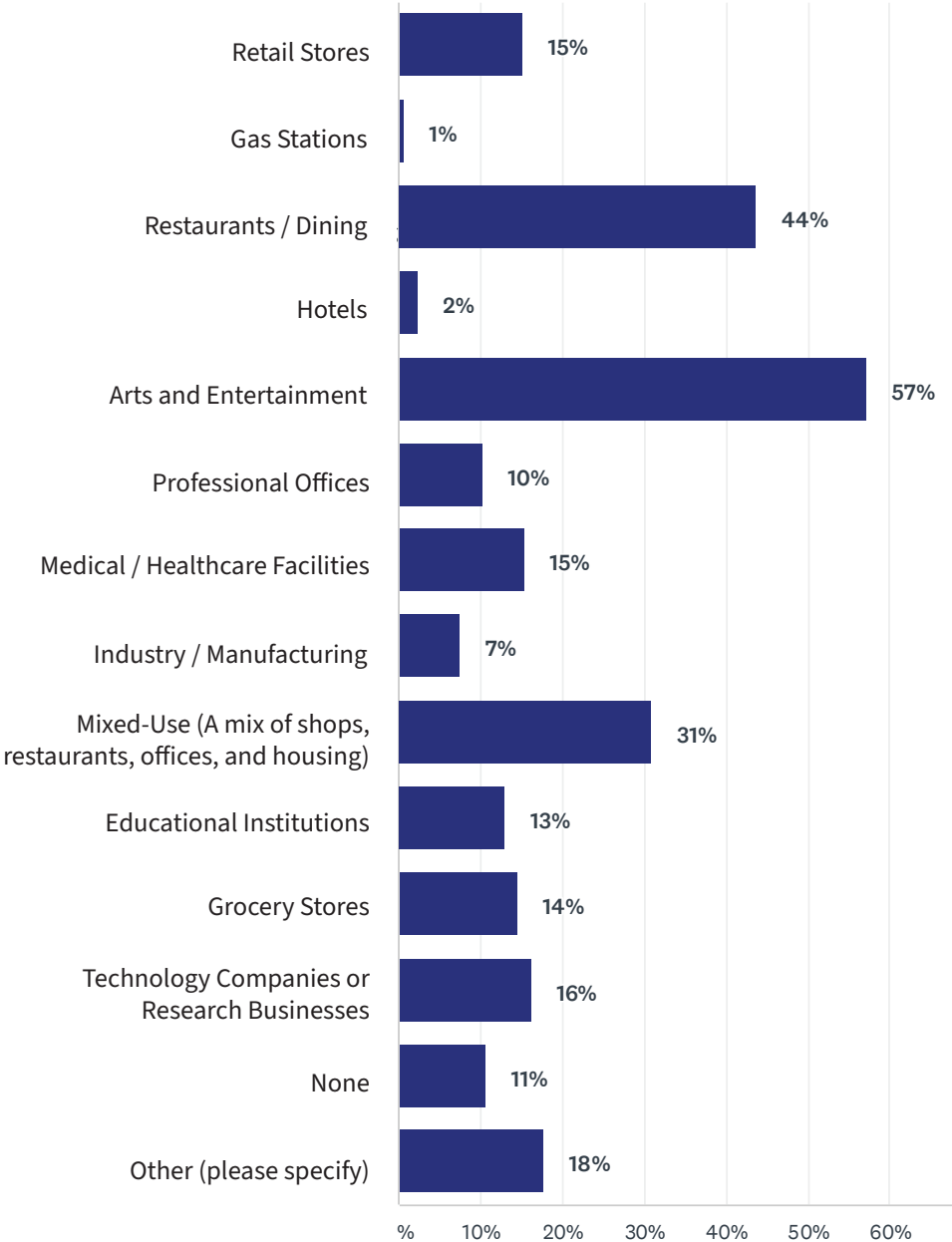
“There are a few buildings that need some serious updating in old town.”

“There are some older buildings that could use a refresh but overall Wentzville still has that small downtown charm.”

“However, early signs of decline are already visible in some properties, as a number of businesses are not consistently committed to maintaining their buildings or grounds.”

“Mostly newer buildings look nice but many due lack any character.”

Q17. What are your top three kinds of non-residential development you would like to see in the city in the future? (Choose no more than three)



Summary

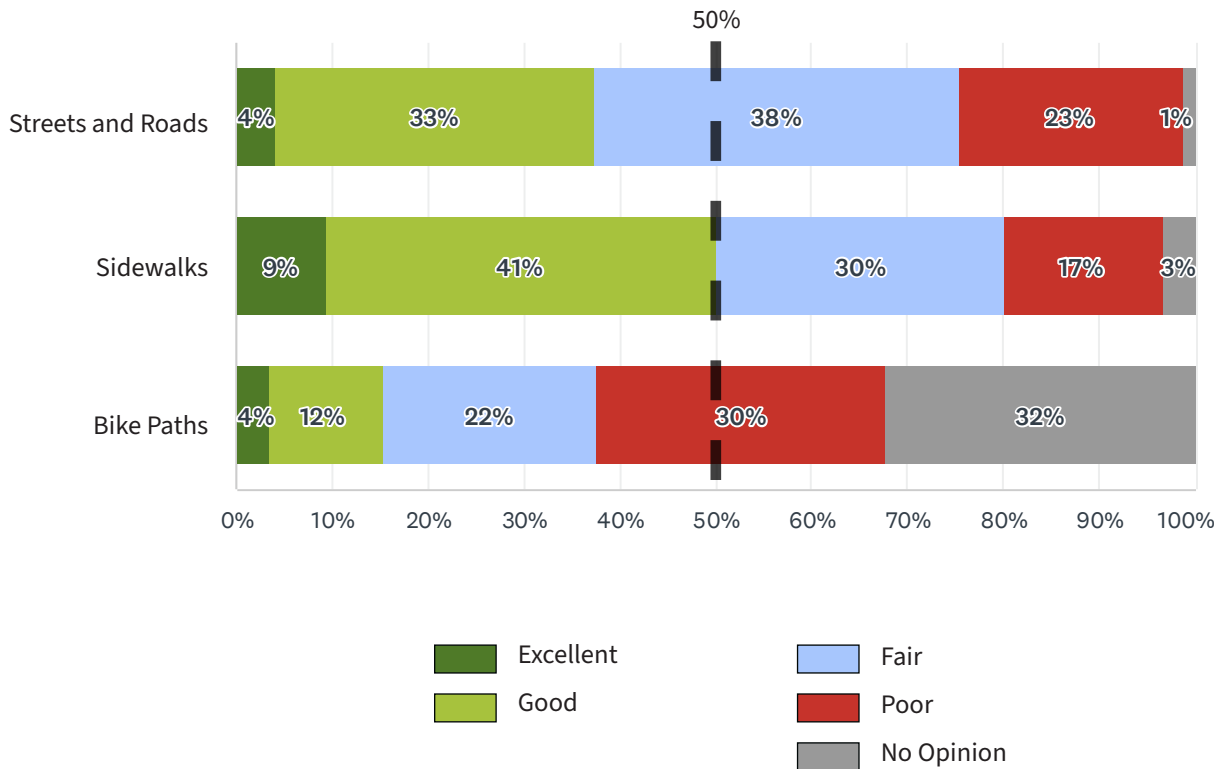
The top choice across all respondent groups was strong interest in arts and entertainment uses, such as theaters, music venues, family entertainment centers, and other activity-based destinations. Restaurant and dining options was a top choice, however younger residents wanted more mixed-use development. Overall, a key theme was unique, community-oriented, entertainment-rich, and pedestrian-friendly places rather than more of the same conventional commercial development.

Younger Residents (Age 34 and under) selected “Mixed-Use” as their second-highest priority at 54%, a rate notably higher than newer residents (40%) and long-term residents (26%).

Representative Comments

- “Small boutiques in the old town portion that would inspire people to walk around there community and interact people. Even if it’s only something like a farmers on Saturdays during the good months.”
- “Chesterfield has a very nice area with 4 hands and Top Golf. That area is pleasant.”
- “More unique restaurants and artsy shops.”
- “Different types of dining besides fast food/chain restaurants.”

Q18. How would you rate the following modes of transportation in Wentzville?



Summary

Across all modes, residents emphasized the need for more connected sidewalks and trails, improved roadway maintenance, safer bike and pedestrian facilities, and long-term transportation planning to keep pace with rapid growth.

Representative Comments

“We desperately need more sidewalks and bike lanes throughout Wentzville.”

“Prioritizing street maintenance alongside continued support for sidewalks and bike paths would create a more balanced, livable environment for all.”

“Glad to see you have more bike paths planned.”

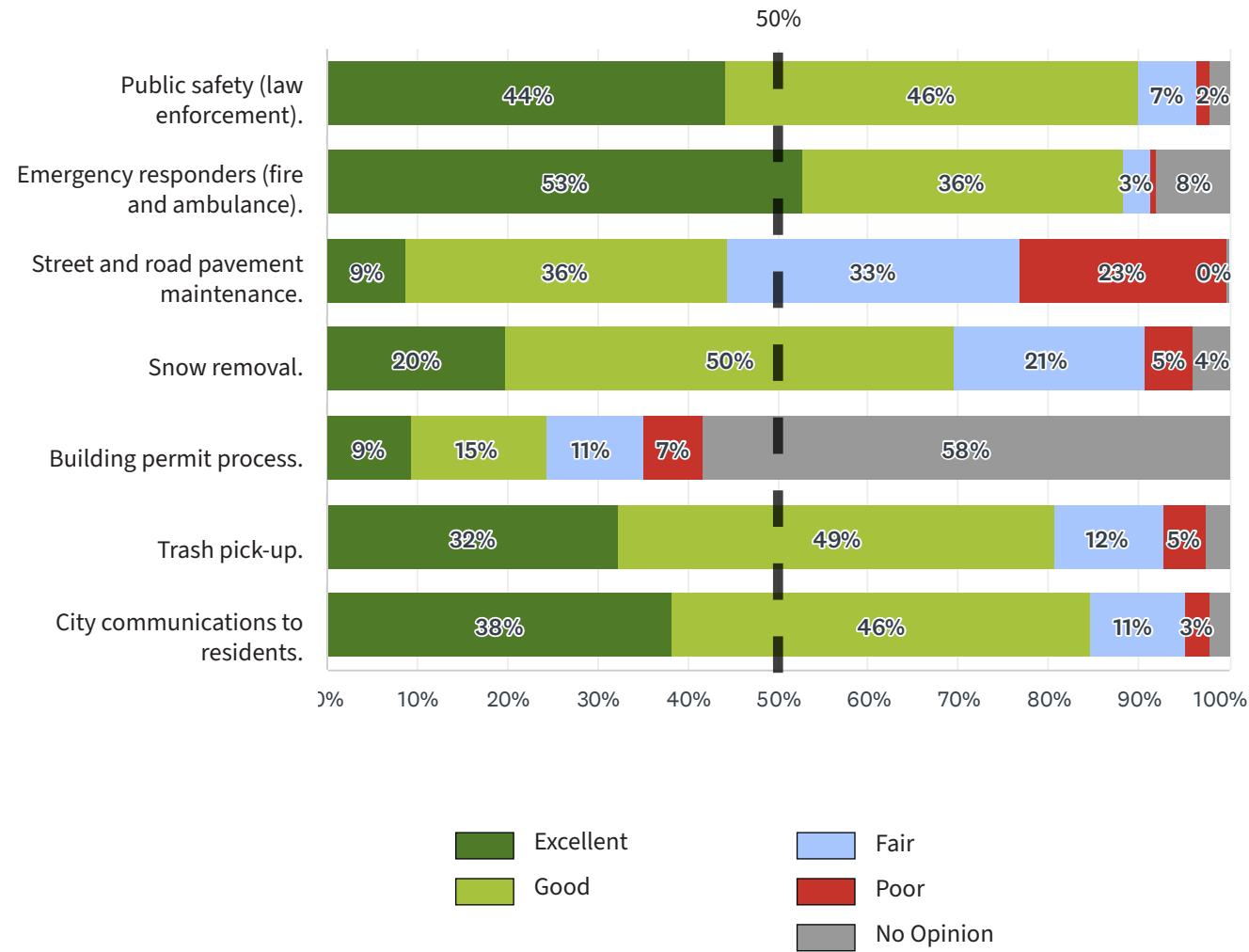
“The city seems to try and keep up with road repairs.”

“Continue forward planning for roads. Wilmer improvements (wider shoulders) need to be prioritized (as well as some of the other narrow heavily traveled roads). There are some areas with nice bicycle/pedestrian paths, but they are not well connected.”

“Transportation for elderly residents. So that they can maintain a level of independence.”

ALL RESIDENTS

Q19. How would you rate the following community services?

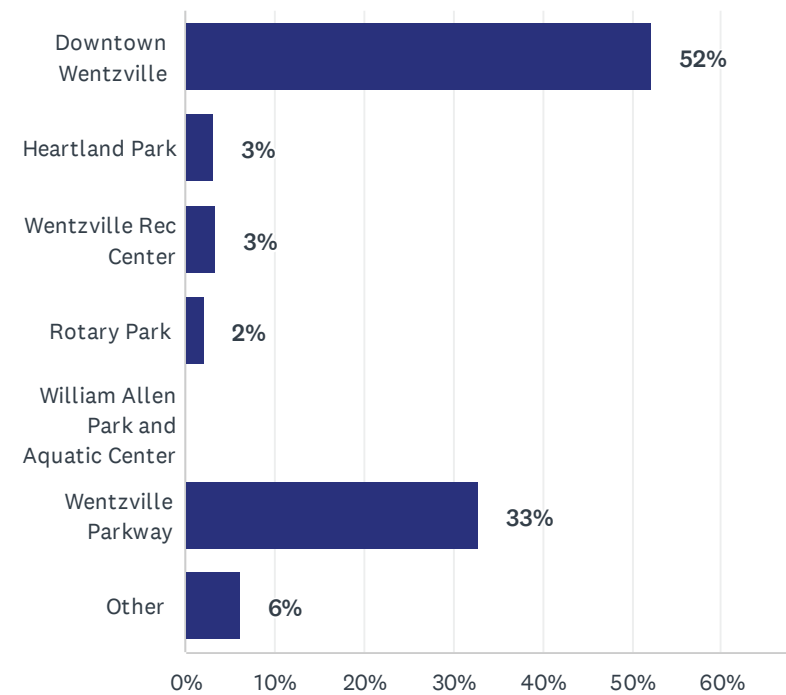


Summary

For residents, community services in Wentzville are generally viewed positively, with high marks for public safety, emergency services, and fire protection, which residents praised as reliable, responsive, and well-coordinated. Trash collection and snow removal receive mostly “good” ratings, though many note occasional delays, inconsistent service, or frustrations during major weather events. Street maintenance stands out as the most frequently criticized service, residents described aging roads, potholes, and repairs that lag behind rapid growth.

ALL RESIDENTS

Q20. Many communities have a unique, special place (such as a downtown, main street, park, or neighborhood) that residents see as the “heart” of their community. In Wentzville, where do you consider the “heart” of the City to be?



ALL RESIDENTS

Representative Comments

“It’s the historical heart of the city.”

“I wish there was a better answer than the Parkway. Downtown just doesn’t have the right kind of older buildings or flow. Wentzville has a chance to create a better heart by tying together the Parkway, Rec Center, and Heartland Park.”

“I don’t feel we have this right now.”

“It’s where much of the city is rooted, and it connects the community together.”

Summary

Downtown Wentzville is the most frequently cited location, particularly for its historic buildings, small-town character, community events, and symbolic connection to the City’s origins . Many residents, however, feel that Wentzville Parkway functions as the practical heart of the city because it is the busiest area and the center of daily shopping, dining, and services, even though several respondents dislike that reality and view it as overly congested or lacking character . A smaller share names Heartland Park, the Rec Center, or Rotary Park, noting community events held there. At the same time, a significant number of residents state that Wentzville does not currently have a true heart, describing the city as fragmented, decentralized, or missing a cohesive gathering place with walkability, unique businesses, and a stronger sense of identity.

Among subgroups, long-term residents much more identified Downtown Wentzville as the heart of the community compared to younger and newer residents.

Younger Residents (Age 34 and under)

- 37% Downtown Wentzville
- 52% Wentzville Parkway

Long-term Residents (Over 20 years)

- 61% Downtown Wentzville
- 22% Wentzville Parkway

New Residents (5 years or less)

- 44% Downtown Wentzville
- 47% Wentzville Parkway

“I don’t think there is a clear “heart” of the city.”

“I love that all city events are held there, the parades go through there, and the nostalgia of the Rod Runs each summer.”

“Downtown Wentzville could be something very special.”

“You hit the parkway for 90% of where you go so it certainly feels like the heart of it.”

“Wentzville Parkway is most used area. I can tell that some efforts are made to promote downtown Wentzville, but it just doesn’t seem very cohesive or have the right mix of businesses as a draw for a shopping/entertainment district.”

Q20. Other comments you would like to share with the planning team about the Comprehensive Plan?

Summary

Additional comments to the planning team emphasized the need for balanced, better-managed growth, with many urging the City to slow down residential development, protect remaining green space and natural areas, and ensure that infrastructure (especially roads, utilities, and schools) keeps pace with new construction. Some comments called for improved traffic flow on major corridors and stronger long-term planning to avoid repeating high-density patterns seen in nearby communities. Many want the City to revitalize Old Town, expand walkable and bike-friendly connections, and create community gathering places such as a town square, plazas, trails, or mixed-use entertainment areas. Others encourage attracting unique local businesses instead of more chains, banks, gas stations, or large subdivisions. Several comments mentioned the need for affordable housing, youth activities, parks and greenways, and environmental stewardship. Some comments supported continued growth but emphasizes that it must be coordinated, thoughtful, and balance infrastructure requirements. Overall, the comments reflect both pride in Wentzville's potential and a strong desire to preserve its small-town character, natural beauty, and quality of life as it continues to grow.

Representative Comments

"A growing community is wonderful, but preserving the history of that community is just as important. I believe revitalizing old town Wentzville and using it as a space for people to walk around, shop and interact is a great way to establish a sense of community that can be lost during periods of growth."

"We moved here 5 years ago because it had a mix of small town living and being close to everything we could want quickly. I think it's important to keep that feel especially now as we start to raise our babies in this community."

"Wentzville has a lot of potential, and is on the right track. I want to see this city continue to succeed!"

"Please be selective in allowing residential developments. Our city doesn't need to squeeze as many homes in as possible. Builders are still going to make large profits even with 10,000sf+ lots. Our city loses its beauty when there are no green spaces."

"Wentzville stands at a pivotal moment in its growth. To preserve quality of life and community identity, the city must address key challenges while building on its strengths. Traffic congestion—particularly along Wentzville Parkway—has become a defining concern, underscoring the urgent need for infrastructure investment."

"Growth is important to bring more and/or better opportunities to the residents of Wentzville but, the natural environment and green spaces is what made my decision to move to Wentzville so easy. People move to this area to get away from the over development most other cities in STL and STC county suffer from. These spaces are almost impossible to get back once lost. Please keep these resources in mind when approving future developments."

"Wentzville's downtown historic area is more than a collection of old buildings—it's the heart of the city's identity and a powerful engine for community connection and economic growth."



CHARACTERISTICS AND TRENDS

In-Progress

The characteristics of the people who live and work in a community have always been a vital component of comprehensive planning and community development. A community's character can shift significantly over time based on the daily decisions and activities of its residents. Moving into or out of a community, opening a business, purchasing a home, choosing where to shop or dine, and participating in local events may seem like “ordinary” choices. Yet, these everyday decisions collectively form the building blocks of a city and shape its long-term growth.

This section examines key trends regarding demographics, population, jobs, commuting and other data that are helping inform planning for the City's future.

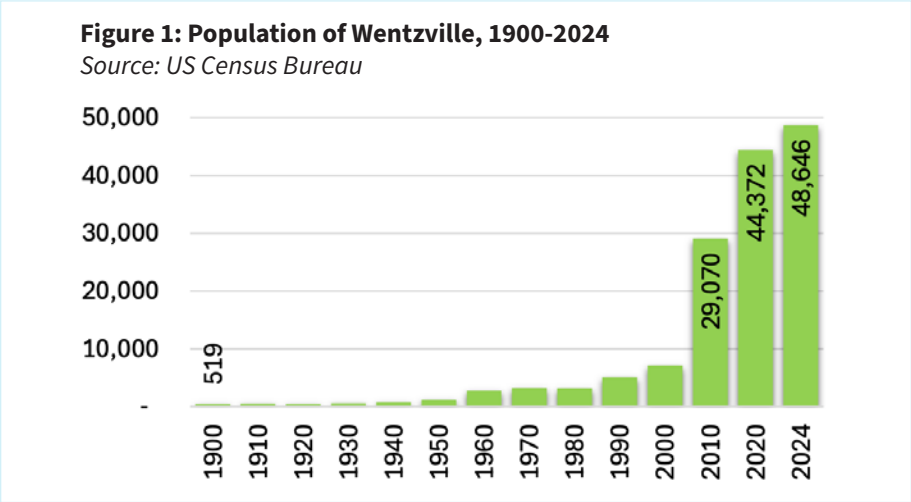


Population

Wentzville’s and St. Charles County’s locations in the St. Louis Metropolitan area are important considerations in the City’s growth and development. Table 1 and Figure 1 illustrate the City’s increasing population trend since 1900. Wentzville’s population at the midpoint of 2024 was approximately 48,646, as estimated by the U.S. Census Bureau as it does every July 1st in between the decennial Census counts. As depicted, the largest rate of population increase before the 21st Century occurred from 1950-1960 (up 123.5%). Between 2000 and 2010 Wentzville grew at almost three times that earlier rate (up 311.9%). This was also the ten year period of the most net new residents, adding more than 22,000. The subsequent decade added 15,300. Since 2020, the city has added almost ten percent more residents. It is anticipated that the continued demand for new housing will result in steady population increases for the foreseeable future.

Table 1: Historical Population Trends for the City of Wentzville		
Census Year	Population	% Change
1900	519	n/a
1910	539	3.9%
1920	514	-4.6%
1930	596	16.0%
1940	752	26.2%
1950	1,227	63.2%
1960	2,742	123.5%
1970	3,223	17.5%
1980	3,193	-0.9%
1990	5,088	59.3%
2000	7,058	38.7%
2010	29,070	311.9%
2020	44,372	52.6%
2024	48,646	9.6%

Source: U.S. Census Bureau. All but 2024 are official Census counts. 2024 is an estimate by the Census Bureau.



The five largest cities in St. Charles County include Wentzville along with St. Charles, St. Peters, O’Fallon, and Lake St. Louis. These cities are often compared with one another in this report so that Wentzville sees itself in the context of its neighbors. Table 1.5 shows that St. Charles had almost 72,500 residents in 2024, up 2.8% from 2020. Wentzville’s 48,646 residents total about two thirds the size of St. Charles, but it was only about half the size of O’Fallon’s more than 94,000 population. Still, Wentzville is experiencing much more rapid growth since 2020 (9.8% by 2024) than its neighbors. O’Fallon is the seventh largest city in Missouri. St. Charles is the 8th and St. Peters is the 10th. Wentzville is no small city, however; it ranked 15th in the state out of 937 incorporated places in 2024.

Table 1.5: Historical Population Trends Large Cities in St. Charles County										
Census Year	Wentzville		O'Fallon		Lake St. Louis		St. Peters		St. Charles	
	Population	% Change	Population	% Change	Population	% Change	Population	% Change	Population	% Change
1990	5,088	n/a	18,296	n/a	7,671	n/a	45,779	n/a	54,555	n/a
2000	7,058	38.7%	46,169	152.3%	10,169	32.6%	51,381	12.2%	60,321	10.6%
2010	29,070	311.9%	79,329	71.8%	14,545	43.0%	52,575	2.3%	65,794	9.1%
2020	44,372	52.6%	91,316	15.1%	16,707	14.9%	57,732	9.8%	70,493	7.1%
2024	48,646	9.6%	94,073	3.0%	17,538	5.0%	61,398	6.4%	72,458	2.8%
Source: U.S. Census Bureau. All but 2024 are official Census counts. 2024 is an estimate by the Census Bureau.										

Population

Over the past 100 years, St. Charles County has been one of the fastest growing areas in Missouri. Table 2 displays historical data trends for St. Charles, Warren, and Lincoln Counties. St. Charles County experienced a peak growth rate from 1950 to 1960 (77.5%) and then continued to grow at an accelerated rate. However, while the population grew, the percent change from the previous decennial census period has slowed from 1960 to 2010. Note that Wentzville's population growth rates have recently exceeded those of the county as a whole.

Table 2: Historical Population Trends in St. Charles, Lincoln, and Warren Counties

Census Year	St. Charles County		Warren County		Lincoln County	
	Population	% Change	Population	% Change	Population	% Change
1900	24,474	n/a	9,919	n/a	18,352	n/a
1910	24,695	0.9%	9,123	-8.0%	17,003	-7.4%
1920	22,828	-7.6%	8,490	-6.9%	15,956	-6.2%
1930	24,354	6.7%	8,082	-4.8%	13,929	-12.7%
1940	25,562	5.0%	7,734	-4.3%	14,395	3.3%
1950	29,834	16.7%	7,666	-0.9%	13,478	-6.4%
1960	52,970	77.5%	8,750	14.1%	14,783	9.7%
1970	92,954	75.5%	9,699	10.8%	18,041	22.0%
1980	144,107	55.0%	14,900	53.6%	22,193	23.0%
1990	212,907	47.7%	19,534	31.1%	28,892	30.2%
2000	283,883	33.3%	24,525	25.6%	38,944	34.8%
2010	360,485	27.0%	32,513	32.6%	52,566	35.0%
2020	405,262	12.4%	35,532	9.3%	59,574	13.3%
2024	423,726	4.6%	38,478	8.3%	65,888	10.6%

Source: U.S. Census Bureau. All but 2024 are official Census counts. 2024 is an estimate by the Census Bureau.

Table 2 also shows that Warren County, which borders Wentzville to the west, and Lincoln County, which borders Wentzville to the north, have also both experienced strong growth rates over the past few decades. Still, the City of Wentzville's 2024 population was about one quarter larger than that of Warren County.

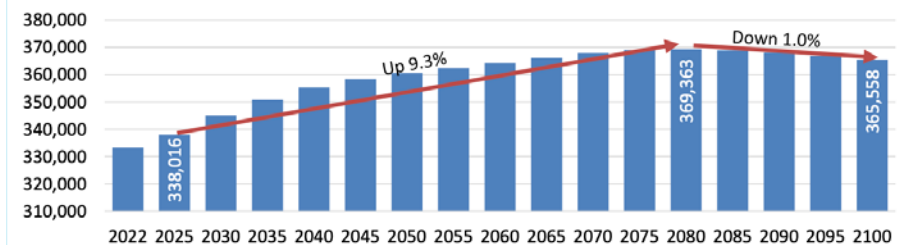
Statewide, Missouri's population grew just 1.5% between 2020 and 2024, which is stronger than the rest of the Midwest (0.9%) but slower than the 2.6% growth rate for the entire country. U.S. Census estimates for 2024 show Missouri's population to be 6,244,500. Missouri ranked as the 19th most populated state in 2024 but the 32nd fastest growing since 2020 (led by Florida and Idaho, both at 8.0%).

An issue related to future population growth for Missouri, and even Wentzville, is an increasing rate of deaths over births. Census data analyzed by Saint Louis University Professor Ness Sandoval shows that deaths of Missourians between 2020 and 2023 totaled 45.8 per 1,000 population. Florida, which has the highest number of elderly residents, had a slightly lower rate of 41.5 deaths per 1,000 population.

Moreover, the United States population as a whole is experiencing a much slower, and declining, rate of growth during the 21st Century (Figure 2), and the Census Bureau projects that the national population will peak in about 2080 before starting to decline. (This is also an almost universal trend throughout the world.) Thus, future population growth will become much more difficult as fewer Americans are born and a greater number pass away. Wentzville may have to address stable or, eventually, declining population as it nevertheless plans for an always improving quality of life.

Figure 2: Projections of the United States Population 2022-2100 (thousands)

Source: US Census Bureau



Population

Table 3 illustrates the population growth rates for cities immediately adjacent to the City of Wentzville. The data shows that, from 2010 to 2024 (14 years), Wentzville grew by more than 62%. O’Fallon, meanwhile, increased by only about 18%, Lake Saint Louis by almost 20%, Foristell by 25%, and Flint Hill increased by just five percent. Foristell and Flint Hill, of course, are very small with 2024 population estimates of 751 and 561, respectively. Clearly, Wentzville is presently the leading edge of population growth in St. Charles County.

Figure 3 graphically depicts the population growth of St. Charles County’s neighboring cities from 1990 to 2024. This indicates that the City of O’Fallon has experienced the most rapid additions to its population, but the recent “curves” show a slowing in O’Fallon and a slightly faster growth rate for Wentzville. Between 2000 to 2010, O’Fallon overtook St. Charles City (not shown) as the largest city based upon population. This same time period saw a huge jump in Wentzville’s population (322%). According to this information, as well as current Census projections, the City of Wentzville is currently the fourth (4th) largest city in St. Charles County based upon population.

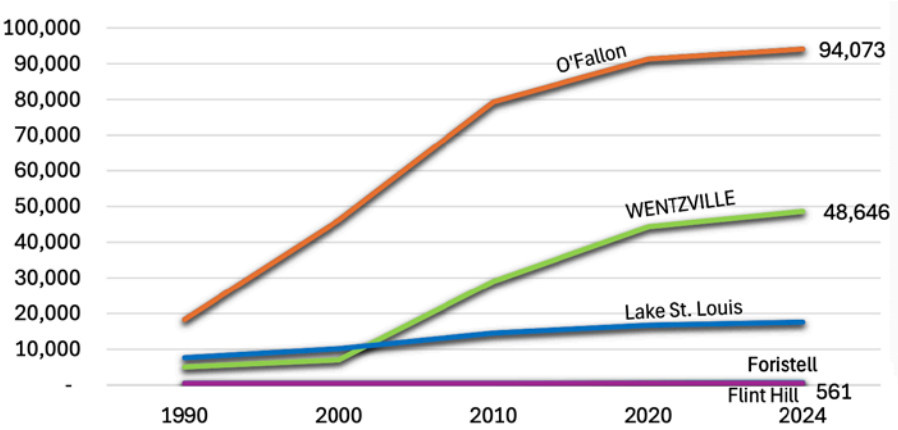
Table 3: Historical Population Trends for Neighboring Cities

Census Year	Wentzville		O’Fallon		Lake St. Louis		Foristell		Flint Hill	
	Population	% Change	Population	% Change	Population	% Change	Population	% Change	Population	% Change
1990	5,088	n/a	18,296	n/a	7,671	n/a	550	n/a	504	n/a
2000	7,058	38.7%	46,169	152.3%	10,169	32.6%	568	3.3%	521	3.4%
2010	29,070	311.9%	79,329	71.8%	14,545	43.0%	597	5.1%	533	2.3%
2020	44,372	52.6%	91,316	15.1%	16,707	14.9%	616	3.2%	546	2.4%
2024	48,646	9.6%	94,073	3.0%	17,538	5.0%	751	21.9%	561	2.7%

Source: U.S. Census Bureau. All but 2024 are official Census counts. 2024 is an estimate by the Census Bureau.

Figure 3: Population of Neighboring Cities, 1990-2024

Source: US Census Bureau



Age Characteristics

Age composition of a population plays an important role in determining the needs of a city’s residents and establishing future growth objectives. For example, if the population is increasing in age over time, perhaps services should be oriented to address an aging population.

The age structure of Wentzville is shown on Table 4 and illustrated on Figure 4. Data for 2023 are the latest available from the U.S. Census American Community Survey (ACS). Some key points are:

- Children under 5 have a much diminished share as of 2023 while those 5 to 19 have maintained roughly a quarter of the city’s population since 2000. Likewise, younger adults, aged 20-34, those most likely to have children under the age of 5, have diminished in proportion,. Young families seem not to be moving into or growing up in Wentzville as robustly as in the recent past.
- But middle-aged adults, 35 to 44 and even up to age 54, are experiencing larger shares of the population. This could suggest that “older families” have reached a stage in life with incomes and jobs to afford Wentzville housing for the good schools while younger families are priced out. Rapid population growth in recent years may have put upward pressure on Wentzville’s housing prices, thus limiting younger and less affluent families. It is also noteworthy that American families, in general, are having markedly fewer children, which is probably also contributing to the decline in the share of under five-year-olds. Demographers note that the “replacement” birth rate is about 2.1 children per family, but the U.S. rate is presently about 1.6.
- Meanwhile, the oldest cohorts are also experiencing increases in shares of the population. This is consistent with generally aging populations throughout the United States and even in the St. Louis metropolitan area. But older adults do not give birth to children, so there could well be a need to address the needs of smaller and older households in the next several years.

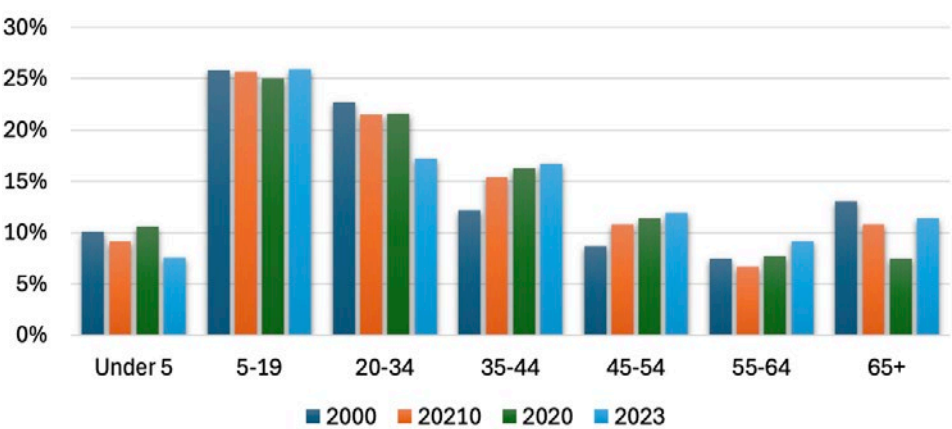
Table 4: Basic Wentzville Age Composition 1990-2016

Source: US Census Bureau

Age Group	2000		2010		2020		2023	
	Number	%	Number	%	Number	%	Number	%
Under 5	517	10.1%	629	9.1%	3,075	10.6%	3,360	7.6%
5-19	1,326	25.8%	1,771	25.7%	7,275	25.0%	11,505	25.9%
20-34	1,170	22.8%	1,483	21.5%	6,286	21.6%	7,644	17.2%
35-44	626	12.2%	1,063	15.4%	4,726	16.3%	7,428	16.7%
45-54	446	8.7%	746	10.8%	3,301	11.4%	5,298	11.9%
55-64	384	7.5%	457	6.6%	2,233	7.7%	4,072	9.2%
65+	671	13.1%	747	10.8%	2,174	7.5%	5,065	11.4%

Figure 4: Percent of Wentzville’s Population by Age Cohort, 2000-2023

Source: US Census Bureau



Age Characteristics

The median age of Wentzville’s population (half are younger, half are older) increased substantially between 2020 and 2023 by about four years. Between 1980 and 2010, maybe a bit longer, the median hovered around 30 years which likely contributed to the strong growth in families with children. Today, however, the city is considerably older, which is reflected on Figure 5 and the reduction in families with younger children. However, although Wentzville’s median age has gotten older, Wentzville is still younger than neighboring cities.

“Although Wentzville’s median age has gotten older, Wentzville is still younger than neighboring cities.”

Table 5: Wentzville Median Age
Source: US Census Bureau

Year	Median Age
1980	29.0
1990	30.2
2000	30.9
2010	30.4
2020	33.5
2023	35.7



Table 6: Median Ages in Neighboring Cities 2010-2023
Source: US Census Bureau

Years	Wentzville	Lake St. Louis	O'Fallon	St. Peters
2010	30.4	42.6	33.5	37.3
2020	33.5	45.1	37.5	39.9
2023	35.7	43.2	38.2	41.1

Ethnicity Characteristics

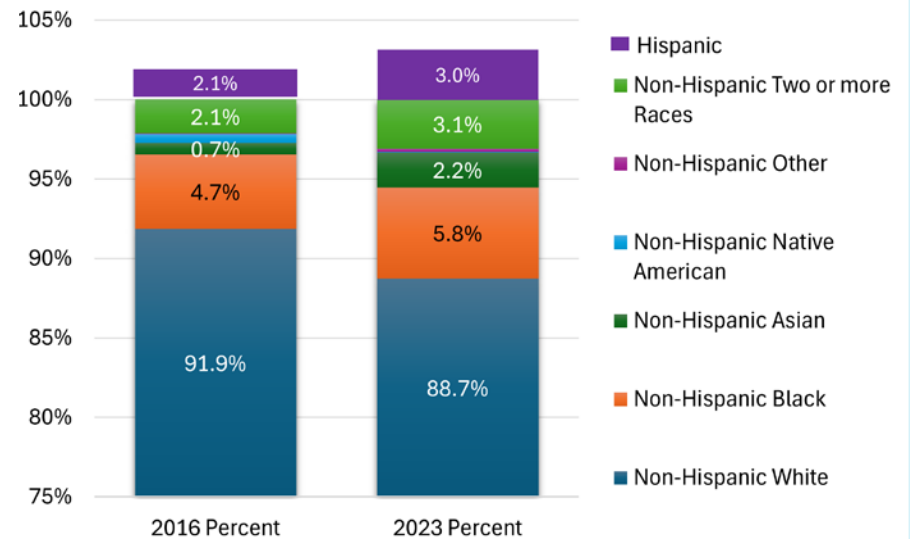
Another demographic variable commonly analyzed during the planning process is the ethnic composition of the population. Figure 6 illustrates Wentzville's demographic makeup for 2016 and 2023. All groups shown are "non-Hispanic" except for Hispanics, who may identify with any race.

Over this seven-year period, U.S. Census Bureau estimates show that the share of residents identifying as white declined from nearly 92% to just under 89%. Meanwhile, the proportion of Black residents increased from 4.7% to 5.8%, and the Asian population grew from 0.7% to 2.2%. Hispanic residents increased from 2.1% to 3.0% of the total population. Because Hispanics may belong to any racial category, their percentage is counted independently from the other racial groups.

Overall, based on American Community Survey data (which carries wide margins of error), Wentzville has become less white and more diverse across most major racial and ethnic groups since 2016.

Figure 6.5: Wentzville Ethnic Characteristics, 2016 and 2023

Source: US Census Bureau



Household Characteristics

Household information of a community is another area in which a city can be examined. Table 7 provides some detailed household information for the City of Wentzville, St. Charles County, and the State of Missouri. The U.S. Census Bureau defines a household as “all persons who occupy a housing unit.” Households, therefore, can be families of related individuals, set of unrelated individuals living in the same housing unit, or single individuals.

Overall, the number of households within Wentzville dramatically increased between 2000 and 2023, with a 536% increase from 2,456 to 15,616. This was related to the City’s explosive growth during this period. Since 2010, the number of 15,616 households within the City—and likely many more since the Census estimates of 2023.

The county as a whole has continued to steadily increase, too, with 60% more households in 2023 than in 2000 while Missouri has added 16%.

Of the City’s 15,616 households in 2023, an estimated 77% were family households (Table 7.5) , down from 80% in 2010 and 79% in 2020, a sign that household demographics may be diversifying slightly. A family household consists of people all related to one another by blood, marriage, or adoption. This excludes households of unrelated individuals (e.g., roommates or even unmarried couples) and single individuals. The 77% of family households in 2023 in Wentzville was well above St. Charles County at 67% and Missouri at 62% which, itself, is about the national average.

Table 7: Household Characteristics 2000-2023 | Source: US Census Bureau

	Wentzville				St. Charles County				Missouri			
	2000	2010	2020	2023	2000	2010	2020	2023	2000	2010	2020	2023
Households	2,456	9,767	14,939	15,616	101,826	134,274	154,851	163,272	2,194,594	2,375,611	2,479,146	2,556,271
Family	1,847	7,852	11,772	12,062	77,453	97,621	109,732	110,711	1,476,516	1,552,133	1,567,376	1,587,271
Non-Family	609	1,915	3,167	3,554	24,373	36,653	45,119	52,561	718,078	823,478	911,770	969,000
Married w/ Child	676	3,823	5,105	5,294	34,112	37,512	35,234	37,392	497,201	481,319	412,846	437,618
Female Head w/ Child	421	868	848	646	5,801	8,565	6,260	5,890	156,571	196,361	123,503	119,546

Table 7.5: Household Characteristics - Percent of All Households 2000-2023 | Source: US Census Bureau

	Wentzville				St. Charles County				Missouri			
	2000	2010	2020	2023	2000	2010	2020	2023	2000	2010	2020	2023
Households	100.0%	100.0%	100.0%	100.0%	100.0%	100.0%	100.0%	100.0%	100.0%	100.0%	100.0%	100.0%
Family	75.2%	80.4%	78.8%	77.2%	76.1%	72.7%	70.9%	67.8%	67.3%	65.3%	63.2%	62.1%
Non-Family	24.8%	19.6%	21.2%	22.8%	23.9%	27.3%	29.1%	32.2%	32.7%	34.7%	36.8%	37.9%
Married w/ Child	27.5%	39.1%	34.2%	33.9%	33.5%	27.9%	22.8%	22.9%	22.7%	20.3%	16.7%	17.1%
Female Head w/ Child	17.1%	8.9%	5.7%	4.1%	5.7%	6.4%	4.0%	3.6%	7.1%	8.3%	5.0%	4.7%

Household Characteristics

Tables 8 and 8.5 and Figures 8 and 8.5 compare the City of Wentzville’s 2023 household compositions from the American Community Survey to other communities within St. Charles County. As noted above, 77% of Wentzville households were occupied by families, a higher percentage than the peer communities.

Family households made up 72% of households in Lake St. Louis and just over half (almost 54%) in St. Charles. This above average family characteristic could contribute to a stronger sense of family and community. The City also had the lowest percentage of non-family households of the studied communities.

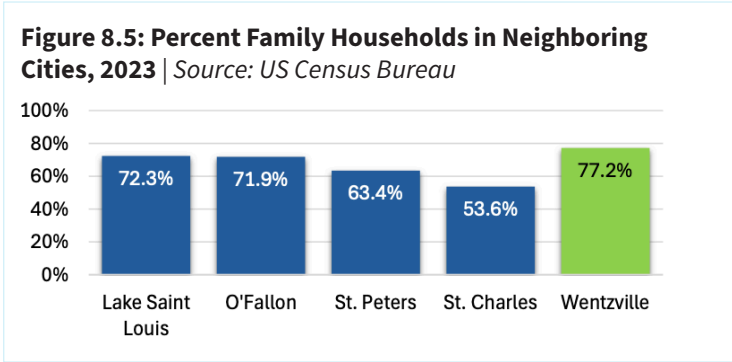
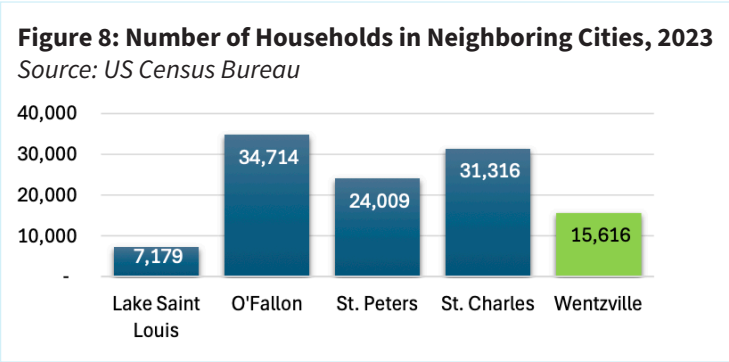
Another revealing aspect of family housing characteristics is the proportion of households classified as Female Head with Children, or single-mother families. In 2023, the percentage of Wentzville households within this category was a relatively high 4.1%, second only to the city of St. Charles with 6.4% single-mother families. The nature of American families has evolved significantly over time and single-parent households have become more common across all socio-economic groups. This may also suggest a correlation between affordable housing options and this demographic group where single-parent (particularly female-headed) households have fewer financial resources. While more “acceptable” in sociological contexts, single-parent households still tend to have lower per capita incomes than dual-parent households.

Table 8: Household Characteristics for Neighboring Cities, 2024
Source: US Census Bureau

	Households	Family	Non-Family	Married w Child	Female Head w/Child
Lake Saint Louis	7,179	5,192	1,987	1,650	60
O'Fallon	34,714	24,946	9,768	10,345	1,336
St. Peters	24,009	15,215	8,794	4,867	601
St. Charles	31,316	16,798	14,518	4,474	1,993
Wentzville	15,616	12,062	3,554	5,294	646

Table 8.5: Household Characteristics for Neighboring Cities, 2023
Source: US Census Bureau

	Households	Family	Non-Family	Married w Child	Female Head w/Child
Lake Saint Louis	100%	72.3%	27.7%	23.0%	0.8%
O'Fallon	100%	71.9%	28.1%	29.8%	3.8%
St. Peters	100%	63.4%	36.6%	20.3%	2.5%
St. Charles	100%	53.6%	46.4%	14.3%	6.4%
Wentzville	100%	77.2%	22.8%	33.9%	4.1%



Population Projections

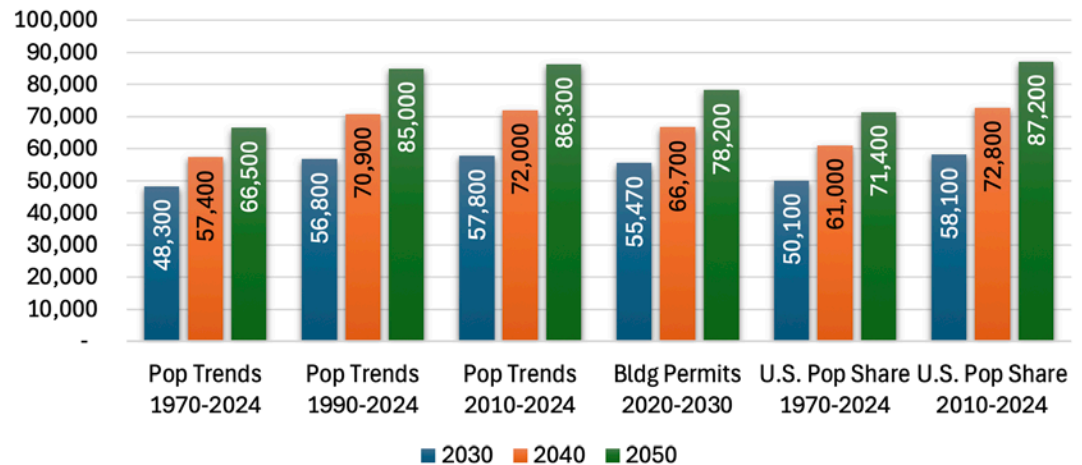
Based on historical population data, general assumptions can be made about future population using different techniques. Figure 9 summarizes six techniques to indicate possible population counts in Wentzville for the years 2030, 2040, and 2050.

Projections, of course, are notoriously difficult to make. Thus, the approach of using a variety of indicators results in a range of reasonable possibilities. As these possibilities play out in real terms over time, Wentzville officials should monitor which scenario(s) seem to be most apparent and then continue to adjust plans and land use planning in appropriate response. The six techniques shown here are based on:

1. Continuing Wentzville's population "growth curve" from as far back as 1970 through the population estimates for 2024. This results in a 2050 population of about 66,500, a net growth of 37% from 2024. This relatively slow growth rate is attributable to the slow growth rates prior to 1990.
2. Shortening the pre-2024 period to continuing Wentzville's population growth curve from 1990 through the population estimates for 2024 results in a 2050 population of about 85,000, a net growth of 75% from 2024 and nearly 20,000 more than Scenario 1.
3. Further shortening the pre-2024 period to continuing Wentzville's population growth curve from much more recently in 2010 through the population estimates for 2024 results in a 2050 population of about 86,300, a net growth of 77% from 2024 and not substantially different from Scenario 2.
4. Rather than continuing population trends, this scenario tracks residential building permits in Wentzville starting in 2010 through 2024 and correlating with population growth. This results in a 2050 population of about 78,200, 61% higher than in 2024 and notably lower than the second and third projections.
5. The fifth projection scenario tracks Wentzville's share of the entire United States population for the years 1970 through 2024, then follows that curve using the U.S. Census Bureau's population projections for the nation (which extend to the year 2100). This results in a 2050 population in the city of about 71,400, or 47% more than in 2024. Again, this relatively slow growth rate is attributable to the city's slow growth before 1990.
6. The final projection is also based on Wentzville's share of the U.S. population, but tracked from 2010 to 2024 rather than 1970 to 2024. This more aggressive growth period for Wentzville yields a 2050 projection of 87,200 residents, the highest growth rate of 79% from 2024, but also not all that dissimilar to Scenarios 2 and 3.

Figure 9: Six Scenarios of Projected Wentzville Population, 2030-2040-2050

Source: Saint Louis University Community Planning Lab



Population Projections

There is a certain amount of consistency in these various scenarios. All show growth, for instance, and all fall within a rationally expected range of 66,500 to 87,200.

2024 Population:
48,646



Future Growth:
28,000

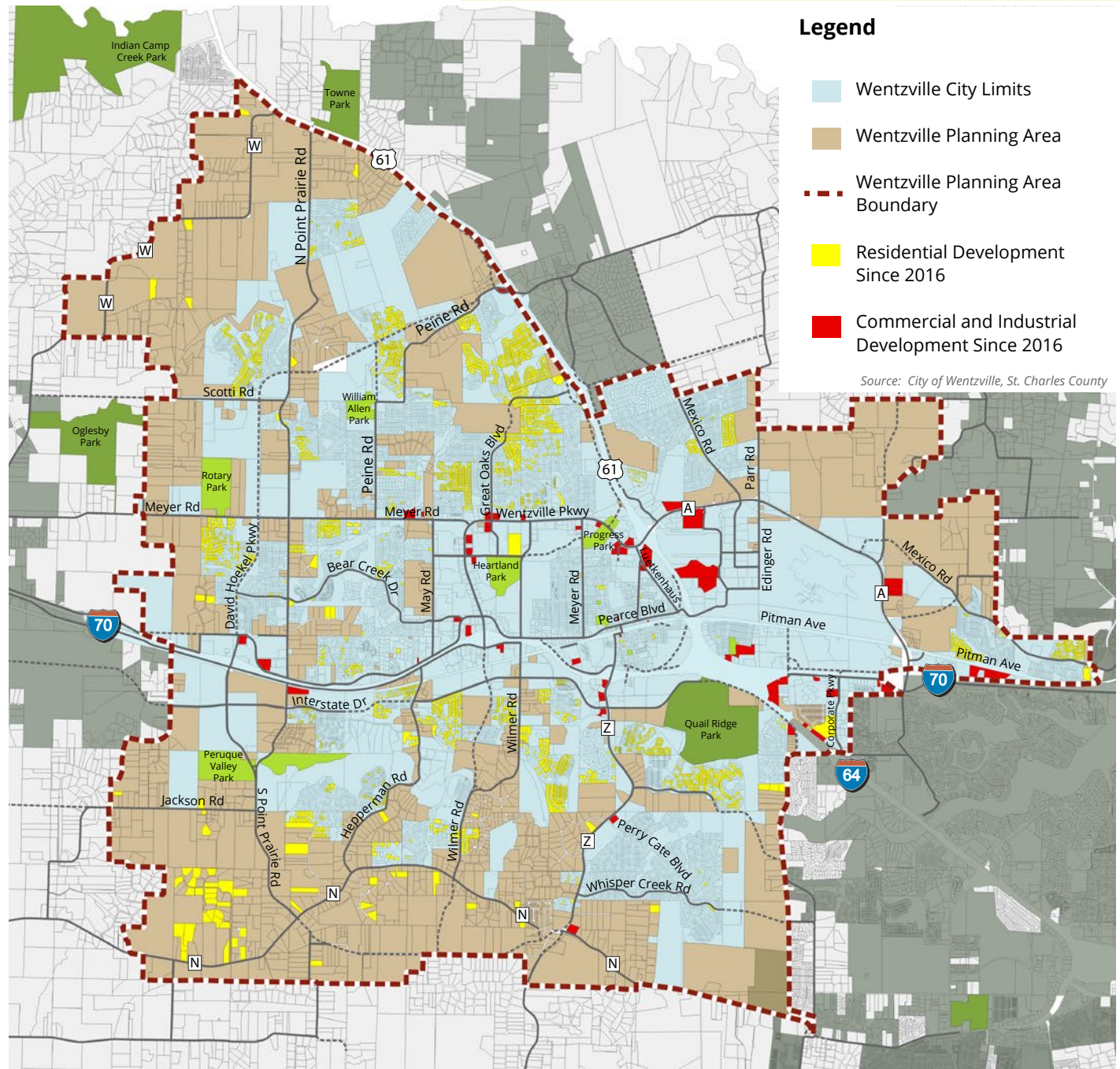
This is the mid-point of the future population scenarios displayed on the previous page.



Potential 76,000 Population in 2050

Recent Growth

The map on this page illustrates recent residential and commercial/industrial growth within the City and its planning area since 2016.



Socio-Economic Profile

The economic vitality of a community is determined in large part by the socio-economic characteristics of its population. Socio-economic factors such as household income, poverty rates, labor force characteristics, employment rates, and educational attainment provide insight to determining needs for housing, community services, business attraction, and job creation. Wentzville’s economy is tied to the larger regional economy and the socio-economic characteristics of the city’s population contribute to the overall economic health of the region. In order to provide a reference point for evaluating the relative health of Wentzville compared to the region, the following analysis also includes trend data for the cities of Lake Saint Louis, O’Fallon, St. Peters, and St. Charles, St. Charles County, and the State of Missouri.

HOUSEHOLD INCOME

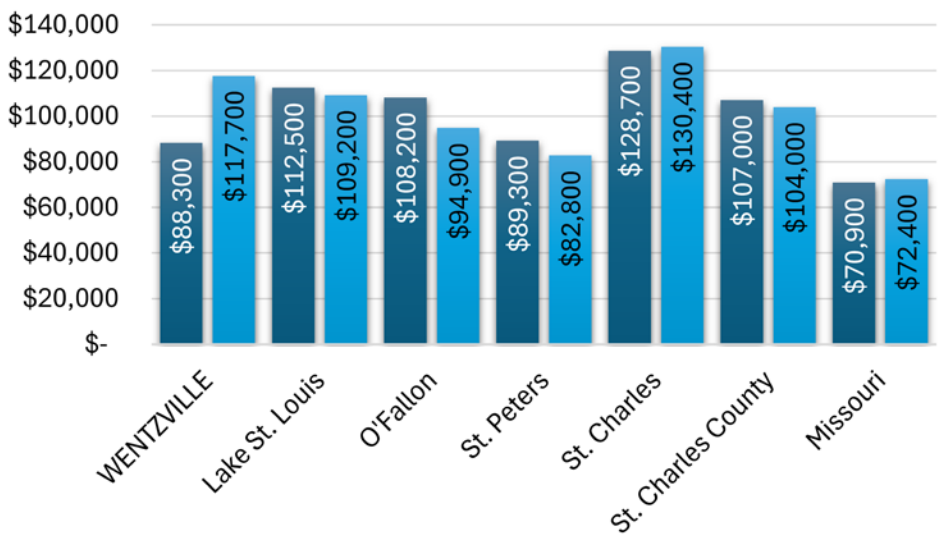
Wentzville households have experienced a significant increase in median income (half higher, half lower) between 2000 and 2023 (latest available estimates from the American Community Survey. In constant 2025 dollar values, this nearly \$29,400 median household income increase, a 33.3% jump since 2000, was by far the highest in St. Charles County. A comparison of the median household incomes between various jurisdictions in St. Charles County and the overall State of Missouri is provided within Table 10. Indeed, three of the peer cities and the county as a whole experienced drops in median income (again, in constant dollars). St. Charles city increased slightly by 1.3% and Missouri as a whole by a modest 2.1%

Table 10: Median Household Income (2000 to 2023)
Constant 2025 Dollar Values

Jurisdiction	Median Household Income (2025\$)				Overall Increase
	2000	2010	2020	2023	
Wentzville	\$ 88,300	\$ 106,600	\$ 116,700	\$ 117,700	33.3%
Lake St. Louis	\$ 112,500	\$ 104,100	\$ 115,300	\$ 109,200	-2.9%
O'Fallon	\$ 108,200	\$ 104,100	\$ 99,900	\$ 94,900	-12.3%
St. Peters	\$ 89,300	\$ 74,300	\$ 88,800	\$ 82,800	-7.3%
St. Charles	\$ 128,700	\$ 120,600	\$ 124,800	\$ 130,400	1.3%
St. Charles County	\$ 107,000	\$ 95,700	\$ 109,300	\$ 104,000	-2.8%
Missouri	\$ 70,900	\$ 65,600	\$ 71,400	\$ 72,400	2.1%

Sources: U.S. Census Bureau, American Community Survey Table S1901
U.S. Bureau of Labor Statistics Inflation Calculator.

Table 10.1: Median Household Income in Neighboring Cities - 2020 and 2023
(Inflation adjusted to 2025 dollars) Source: US American Community Survey Table S1901

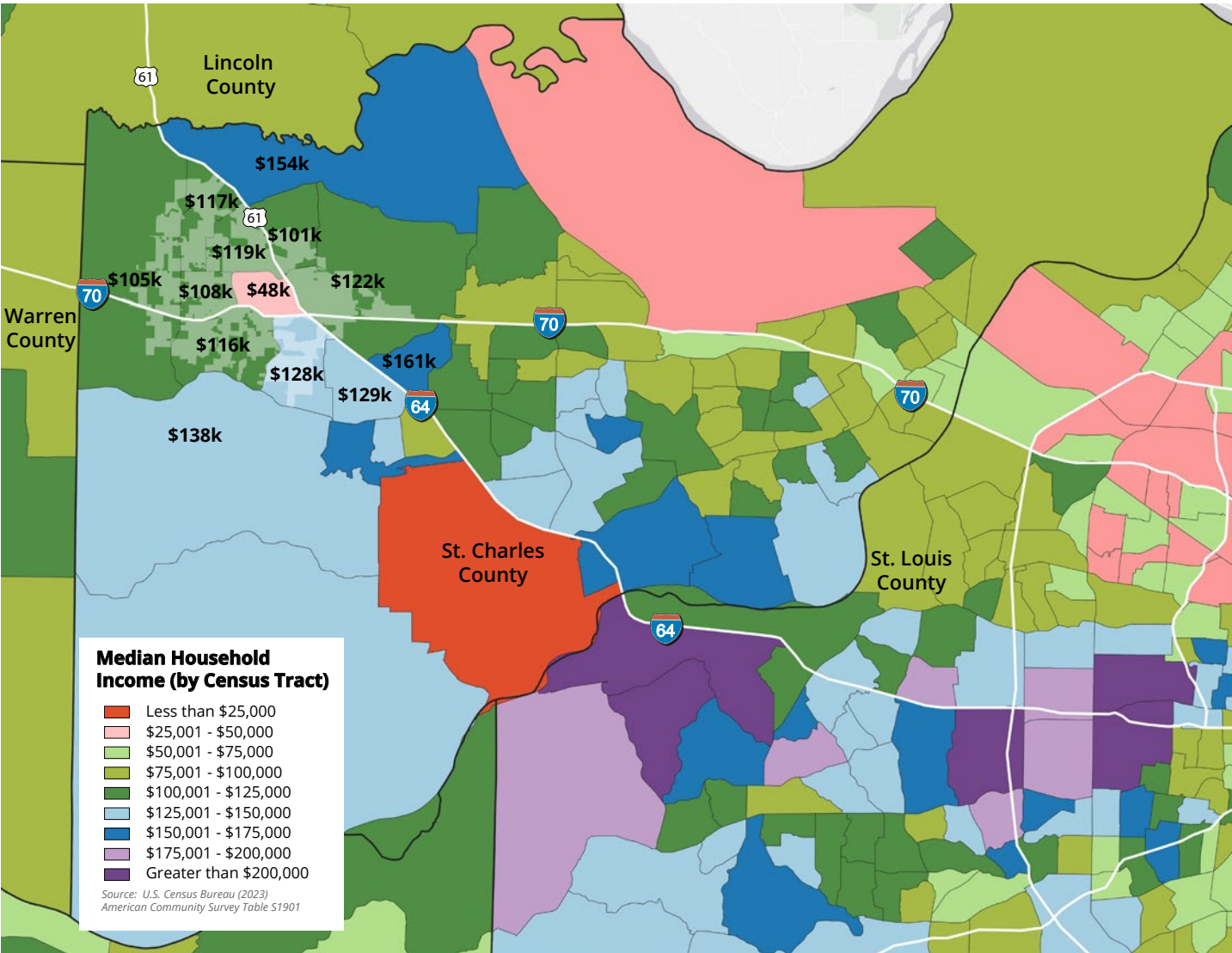


Socio-Economic Profile

A comparison of the median household incomes between various jurisdictions in St. Charles County and the overall State of Missouri is provided within Table 10, Table 10.1, and the map on this page.

Three of the peer cities and the county as a whole experienced drops in median income (again, in constant dollars). St. Charles city increased slightly by 1.3% and Missouri as a whole by a modest 2.1%

Map: Median Household Income (by Census Tract)



Socio-Economic Profile

Table 11 provides more detailed information regarding the household incomes within Wentzville—this time in nominal dollars not-adjusted for inflation. Over 35% of the city’s households had incomes below \$35,000 in 2000 and only 47% had incomes over \$50,000. These numbers had shifted dramatically by 2023 with just 10% percent of household incomes below \$35,000 and 84% percent at \$50,000 or more.

As shown on Table 12, Wentzville’s 2023 percentage of households below \$35,000 was less than that of St. Charles County and the State.

Table 11: Household Income Distribution in Wentzville (2000-2023)

Income (Nominal Dollars)	Percent of Total Households			
	2000	2010	2020	2023
Less than \$14,999	18.4%	4.4%	2.8%	2.6%
\$15,000 to \$24,999	6.3%	5.9%	3.8%	3.3%
\$25,000 to \$34,999	10.6%	6.6%	4.4%	4.3%
\$35,000 to \$49,999	17.6%	11.7%	9.2%	5.4%
\$50,000 to \$74,999	28.2%	23.7%	14.5%	12.7%
\$75,000 to \$99,999	11.5%	19.5%	20.4%	14.7%
\$100,000 to \$149,999	6.6%	20.7%	26.7%	28.0%
\$150,000 to \$199,999	0.4%	5.1%	10.5%	15.2%
\$200,000+	0.6%	2.2%	7.7%	13.8%

Source: U.S. Census Bureau, American Community Survey Table S1901

Table 12: 2023 Household Income by Percent of Total Households in Neighboring Cities

Jurisdiction	Less than \$14,999	\$15,000 to \$24,999	\$25,000 to \$34,999	\$35,000 to \$49,999	\$50,000 to \$74,999	\$75,000 to \$99,999	\$100,000 to \$149,999	\$150,000 to \$199,999	\$200,000 or more
Wentzville	2.6%	3.3%	4.3%	5.4%	12.7%	14.7%	28.0%	15.2%	13.8%
Lake Saint Louis	4.3%	1.8%	1.3%	12.0%	11.5%	9.1%	20.2%	14.9%	24.9%
O'Fallon	5.2%	2.1%	1.5%	7.8%	13.4%	15.2%	24.5%	14.6%	15.6%
St. Peters	3.6%	5.3%	4.5%	12.1%	16.5%	14.2%	22.1%	12.9%	8.9%
St. Charles	3.9%	7.5%	7.7%	11.0%	17.3%	15.6%	18.4%	8.3%	10.2%
St. Charles County	4.0%	4.0%	3.9%	8.9%	15.1%	15.1%	23.0%	11.9%	14.2%
Missouri	8.5%	7.2%	8.0%	12.4%	17.9%	13.1%	17.3%	7.4%	8.1%

Socio-Economic Profile

POVERTY

Table 13 provides the percentage of the total population in poverty from 2000 to 2023 for the City and surrounding communities. The definition of “poverty” by the Census Bureau uses a set of income thresholds that vary by family size and composition. If an individual or household’s total income is less than these established thresholds, then that individual or household is considered to be living in poverty. The official poverty thresholds do not vary geographically, but they are updated for inflation using the Consumer Price Index (CPI-U). The official poverty definition uses income before taxes and does not include capital gains or noncash benefits such as public housing, Medicaid, or food stamps.

According to Census information, the City of Wentzville had nearly 12% percent of its overall population living in poverty in 2000. This was the highest level of the communities listed and considerably above the St. Charles County and overall State percentages. Table 13 provides poverty data from 2000, 2010, 2020, and 2023. It’s

important to note that, between 2000 and 2010, the nation entered a large recession which had dramatic socio-economic impacts on many communities. It is interesting that, while every other listed community increased the percentage of individuals in poverty during that time, Wentzville saw reductions in all age groups.

One possible explanation for this reduction is that residents of the city (on average) were isolated from the economic downturn. A more likely explanation is that individuals who had previously been considered impoverished chose to move out of the city to other areas. Such relocations could have been for job opportunities, better public transportation options, or in pursuit of more adequate housing services. Since then, however, it appears that reductions in poverty levels are continuing throughout St. Charles County. Should the Census 2020 data demonstrate a continuation of this trend it may warrant further study as it could suggest that the City may not be adequately serving impoverished individuals and/or households

Table 13: Poverty as a Percentage of Total Population (2000-2023) in Neighboring Cities

Jurisdiction	Percentage of Individuals in Poverty by Age Group												2023 All Pop.
	Younger than 18				Ages 18 to 64				Ages 65 and older				
	2000	2010	2020	2023	2000	2010	2020	2023	2000	2010	2020	2023	
Wentzville	19.5%	5.0%	4.4%	6.0%	6.9%	3.9%	2.8%	3.7%	13.3%	6.1%	2.2%	5.1%	4.6%
Lake Saint Louis	6.0%	6.5%	2.1%	0.5%	2.5%	3.4%	3.3%	3.7%	4.7%	2.7%	7.2%	8.9%	4.1%
O'Fallon	3.6%	4.6%	5.1%	4.9%	2.8%	4.5%	4.5%	3.1%	7.2%	6.9%	3.9%	6.5%	4.0%
St. Peters	3.0%	3.2%	5.3%	5.1%	2.3%	2.6%	3.2%	4.7%	5.1%	3.6%	4.6%	6.0%	5.1%
St. Charles	8.3%	18.9%	9.6%	8.3%	5.6%	12.8%	7.9%	7.8%	5.9%	7.4%	4.6%	6.2%	7.6%
St. Charles County	4.5%	6.3%	6.1%	6.0%	3.4%	5.9%	4.4%	5.2%	5.1%	4.8%	4.3%	6.0%	5.5%
Missouri	10.7%	20.9%	17.4%	14.4%	10.4%	14.5%	12.6%	11.4%	9.9%	9.1%	8.6%	10.8%	12.0%

Source: U.S. Census Bureau, American Community Survey, Table S1701

Socio-Economic Profile

JOBS OF WENTZVILLE RESIDENTS

Table 14 documents the city's workforce by economic sector of employment from 2010, 2020, and 2022 using information available from the U.S Census Bureau's "On the Map" series which, unfortunately, stops in 2022. These data concern the residents of Wentzville who were employed at those times regardless of where they worked, not the jobs located in Wentzville (which is Table 14.5).

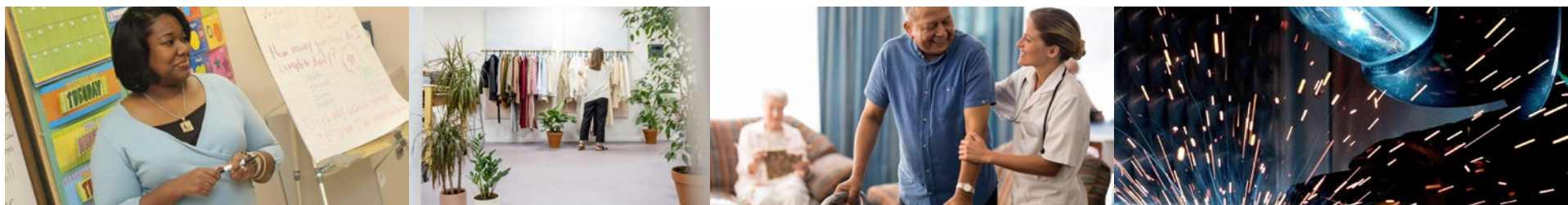
As shown in Table 14, the "Health Care and Social Assistance" sector continues to be city's largest workforce group employing 13.0% of Wentzville residents with jobs. It was also the third fastest growing job sector for Wentzville residents, increasing by 276% between 2010 and 2022. The fastest growing workforce sector was "Manufacturing" (up 315%) while second fastest was "Transportation and Warehousing" (up 297%).

Overall, jobs held by Wentzville residents increased from 7,288 in 2010 to 23,349 in 2022, a jump of 220%. This corresponded with a much smaller population growth rate of 64% between 2010 and 2022, an indication that an immense number of newcomers as residents were employed, probably as part of two-worker households.

Table 14: Employment of Wentzville Residents by Economic Sector 2010-2022, Jobs Held by Residents Regardless of Where

	2010		2020		2022	
	Number	Percent	Number	Percent	Number	Percent
Ag, Forestry, Fishing	7	0.1%	41	0.2%	37	0.2%
Extraction	8	0.1%	14	0.1%	17	0.1%
Utilities	42	0.6%	93	0.4%	128	0.5%
Construction	480	6.6%	1,413	6.6%	1,446	6.2%
Manufacturing	605	8.3%	2,335	10.9%	2,508	10.7%
Wholesale Trade	462	6.3%	1,162	5.4%	1,208	5.2%
Retail Trade	849	11.6%	2,157	10.0%	2,428	10.4%
Transp & Warehsg	234	3.2%	815	3.8%	930	4.0%
Information	198	2.7%	595	2.8%	695	3.0%
Finance & Insurance	431	5.9%	1,484	6.9%	1,412	6.0%
Real Estate & Rental/Leasing	92	1.3%	314	1.5%	301	1.3%
Prof, Scient, Tech Services	375	5.1%	1,323	6.1%	1,450	6.2%
Mgt of Enterprises	242	3.3%	649	3.0%	615	2.6%
Admin Support & Waste Mgt	414	5.7%	1,119	5.2%	1,346	5.8%
Educational Services	748	10.3%	1,913	8.9%	2,079	8.9%
Health Care & Social Asst	806	11.1%	3,004	14.0%	3,027	13.0%
Arts, Ent, and Recreation	176	2.4%	325	1.5%	417	1.8%
Lodging & Dining	636	8.7%	1,618	7.5%	2,051	8.8%
Other Private Services	250	3.4%	549	2.6%	640	2.7%
Public Administration	233	3.2%	596	2.8%	614	2.6%

Source: U.S. Census Bureau, LEHD On the Map

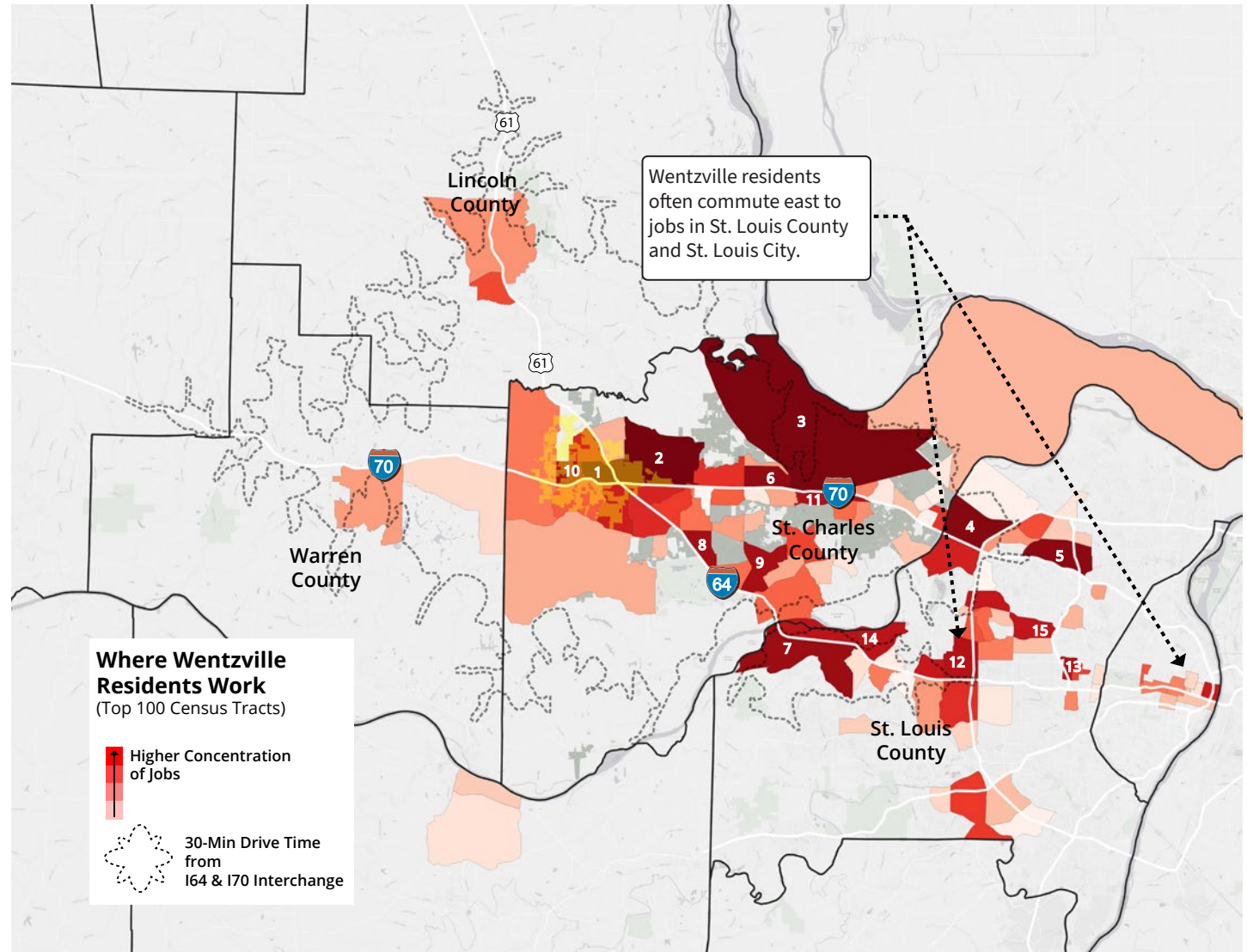


Socio-Economic Profile

As noted in the Commuting section, more than 20,000 Wentzville residents travel outside the City for work.

The map on this page illustrates where these residents are employed. A clear pattern emerges of Wentzville commuters traveling eastward to job locations in St. Charles County, St. Louis County, and even the City of St. Louis.

Map: Where Wentzville Residents Work



Socio-Economic Profile

JOBS IN WENTZVILLE

Table 14.5 shows that 22.4% of jobs in the city were in Manufacturing in 2022 (again, the latest available data at the city level). This was down from 28.5% just two years earlier but much higher than in 2010. Still, the number of manufacturing jobs in the city increased by a whopping 862% between 2010 and 2022. In a relatively short period of time, therefore, Wentzville has become a power manufacturing concentration, though it shows some employment volatility common to that sector in short periods of time.

The second largest job sector in the city is Retail Trade with 16.6% of all jobs in 2022 which is about consistent since 2010. While the share of retail jobs has remained effectively consistent, the number of retail jobs increased from 1,369 in 2010 to 3,118 in 2022 (up 128%).

The second and third fastest growing sectors were Transportation and Warehousing (up 463%) and Real Estate, Rental and Leasing (up 461%). The former indicates Wentzville as an important logistics center, which is consistent with its growth as a manufacturing center. The latter indicates that a great deal of real estate growth is underway, among other factors, thus employing many people in related occupations.

Table 14.5: Jobs in Wentzville by Economic Sector 2010-2022
Jobs Located in Wentzville Regardless of Where the Employees Live

	2010		2020		2022	
	Number	Percent	Number	Percent	Number	Percent
Ag, Forestry, Fishing	1	0.0%	-	0.0%	-	0.0%
Extraction	-	0.0%	-	0.0%	-	0.0%
Utilities	22	0.3%	-	0.0%	-	0.0%
Construction	594	7.4%	841	5.0%	784	4.2%
Manufacturing	438	5.5%	4,824	28.5%	4,213	22.4%
Wholesale Trade	261	3.3%	483	2.9%	401	2.1%
Retail Trade	1,369	17.1%	2,657	15.7%	3,118	16.6%
Transp & Warehsg	169	2.1%	864	5.1%	951	5.0%
Information	231	2.9%	61	0.4%	68	0.4%
Finance & Insurance	168	2.1%	424	2.5%	471	2.5%
Real Estate & Rental/Leasing	28	0.3%	75	0.4%	157	0.8%
Prof, Scient, Tech Services	169	2.1%	256	1.5%	429	2.3%
Mgt of Enterprises	26	0.3%	4	0.0%	2	0.0%
Admin Support & Waste Mgt	485	6.0%	569	3.4%	694	3.7%
Educational Services	1,556	19.4%	1,850	10.9%	2,555	13.6%
Health Care & Social Asst	810	10.1%	1,351	8.0%	1,631	8.7%
Arts, Ent, and Recreation	166	2.1%	245	1.4%	322	1.7%
Lodging & Dining	1,043	13.0%	1,809	10.7%	2,243	11.9%
Other Private Services	291	3.6%	387	2.3%	507	2.7%
Public Administration	199	2.5%	247	1.5%	289	1.5%

Source: U.S. Census Bureau, LEHD On the Map

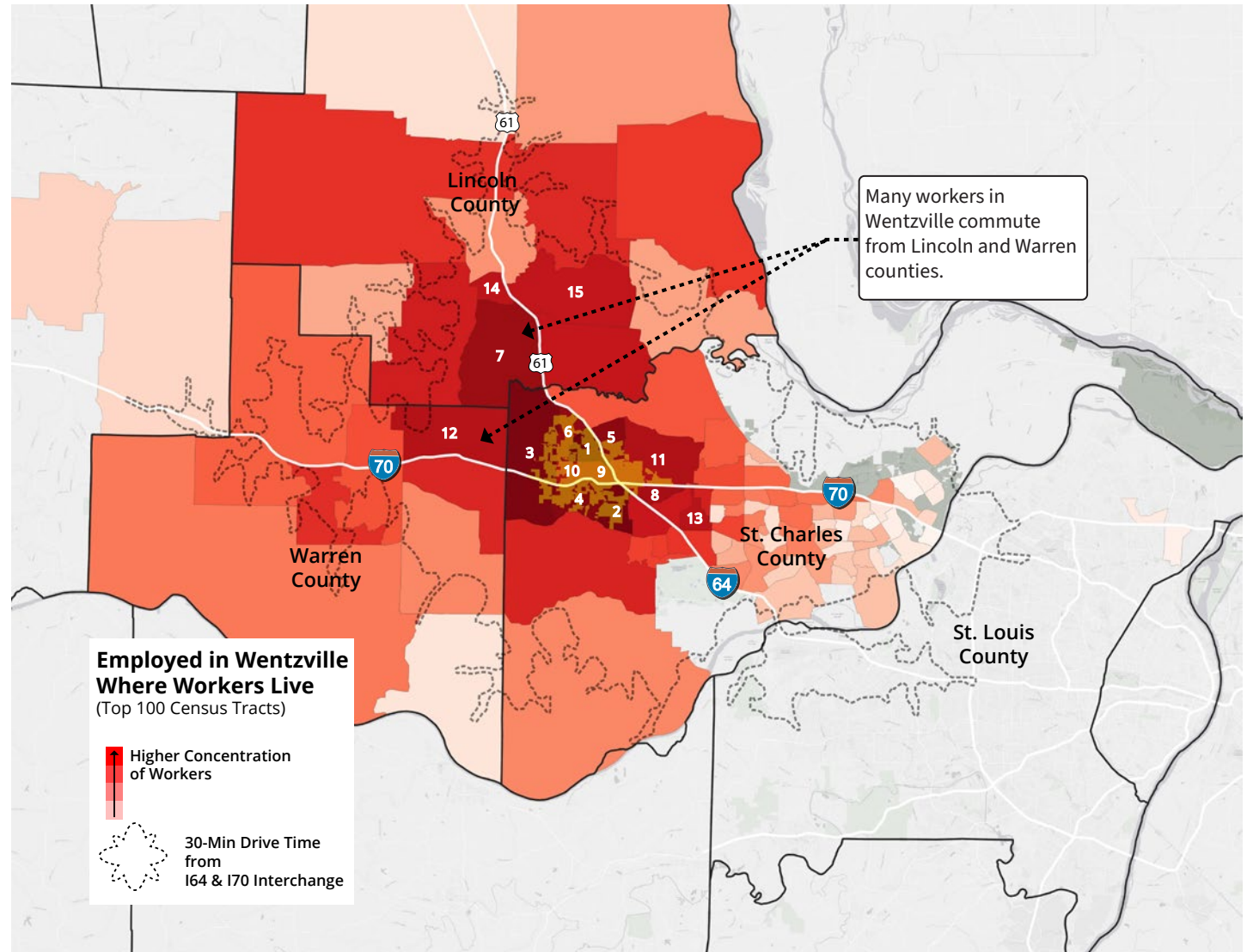


Socio-Economic Profile

As discussed in the ‘Commuting’ section, Wentzville had nearly 19,000 jobs in 2022, yet approximately 84% of those positions were held by individuals who live outside the city.

The map on this page illustrates where Wentzville’s workers reside. While many live in or near the community, a significant number commute from Warren and Lincoln counties.

Map: Employed in Wentzville - Where Workers Live

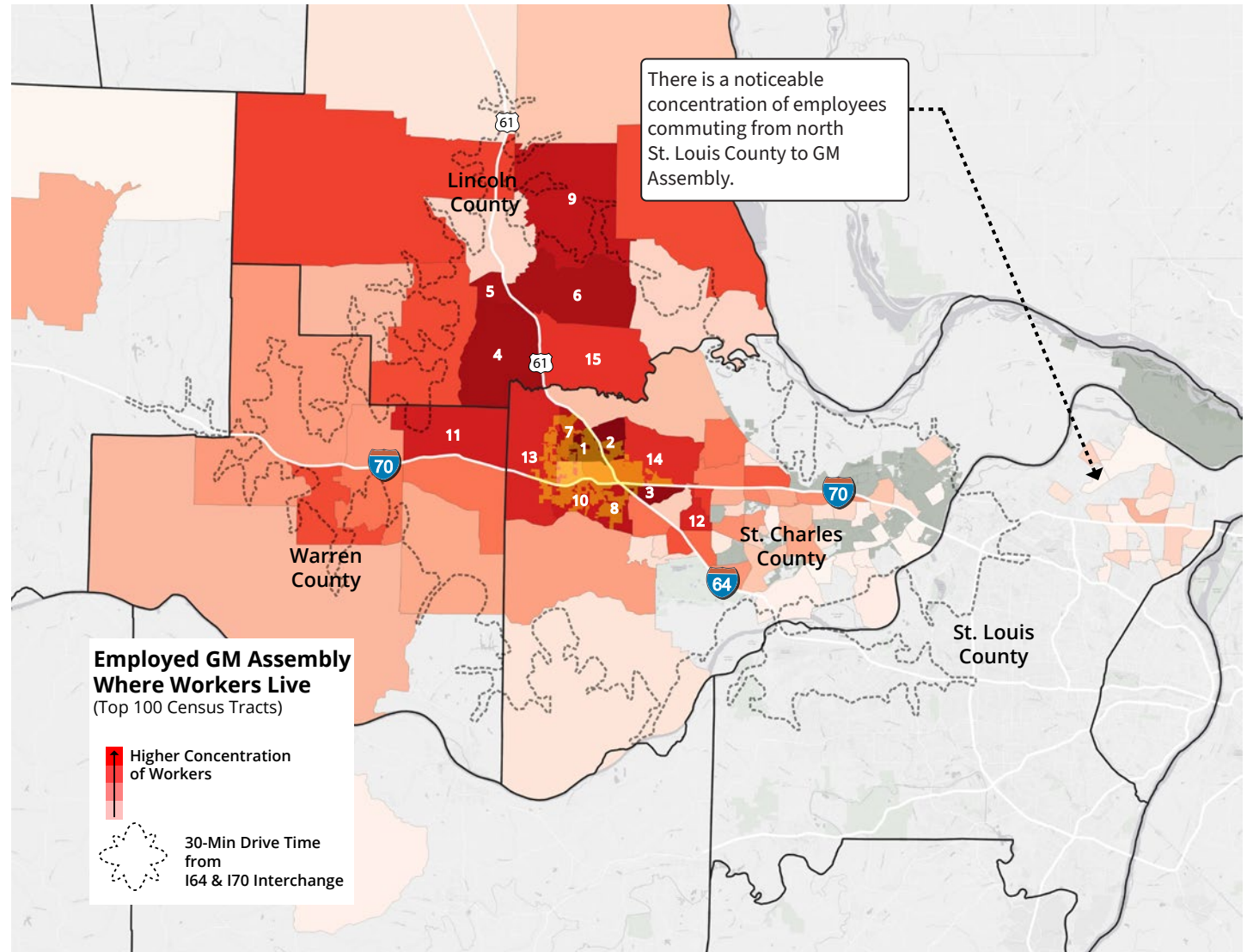


Socio-Economic Profile

The map on this page provides a closer look at where employees of the GM Assembly Plant (and adjacent manufacturing facilities) reside.

While the overall pattern is similar to that of other workers in the City, there is a noticeable concentration of employees commuting from north St. Louis County.

Map: Employed at GM Assembly - Where Workers Live



Socio-Economic Profile

COMMUTING PATTERNS

While there were almost 19,000 jobs in Wentzville in 2022, nearly 84% of those jobs were held by non-Wentzville residents. On an average day in 2022, 15,747 people commuted into Wentzville for work while 3,088 residents stayed in Wentzville for their jobs.

Meanwhile, 20,261 residents commuted out of the city to jobs elsewhere. This partly means that the “daytime population” of Wentzville was lower than the “nighttime population” by about 2,500. But it also means that a lot of vehicles carried people to and from the city in such numbers as to add to traffic congestion throughout the city, county, and metro area.

The commuting database also includes estimates of workers by their jobs earnings. The highest of those earnings categories, however, is \$40,000 per year or more. Still, the relative earnings of commuters is telling: As show on Figure 14.7, almost two thirds of Wentzville’s out-commuters earn \$40,000 or more from their external jobs. Meanwhile just over half of the in-commuters earn that much from their Wentzville jobs. Wentzville residents who stay in the city for their jobs fare the least: only 45.0% of them earn \$40,000 or more. What is quite apparent, of course, is that the residents of Wentzville bring home rather large paychecks from external jobs compared to what jobs seem to pay within the city. This boost in resident incomes increases buying power for retail sales and higher value homes. But the lower paying jobs in the city are held mostly by non-residents.

Map 2: Commuting Patterns In and Out of Wentzville, 2022

Source: US Census On the Map

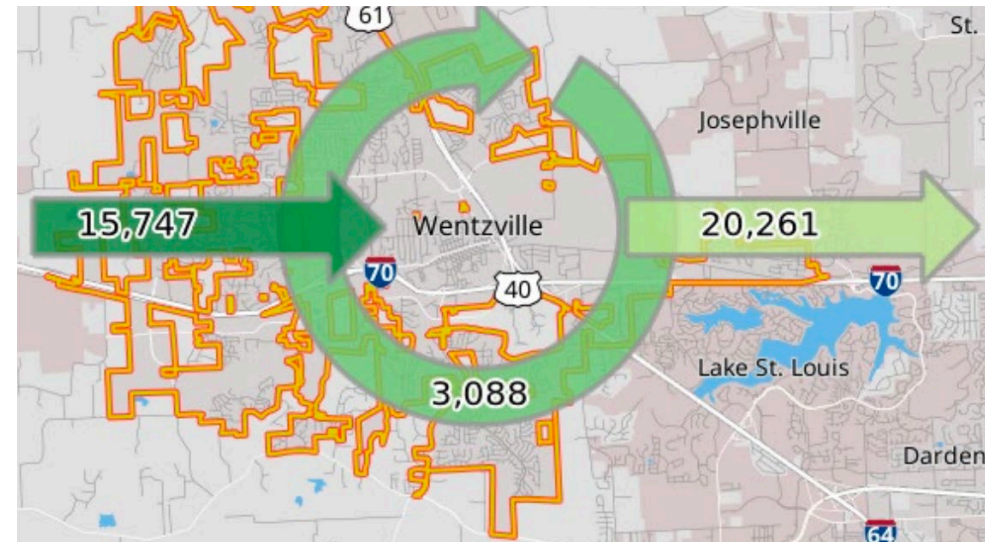
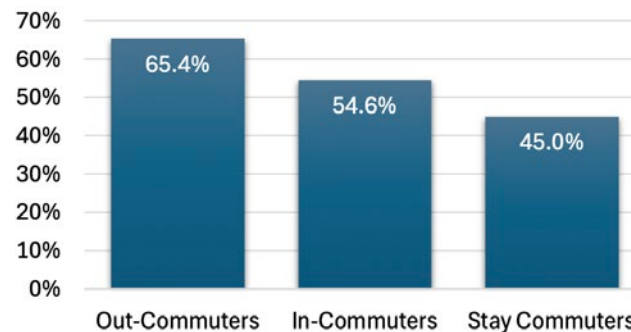


Figure 14.7: Percent of Wentzville Commuters Earning \$40,000 per Year or More, 2022 | Source: US Census On the Map



Socio-Economic Profile

EMPLOYMENT LOCATION QUOTIENTS

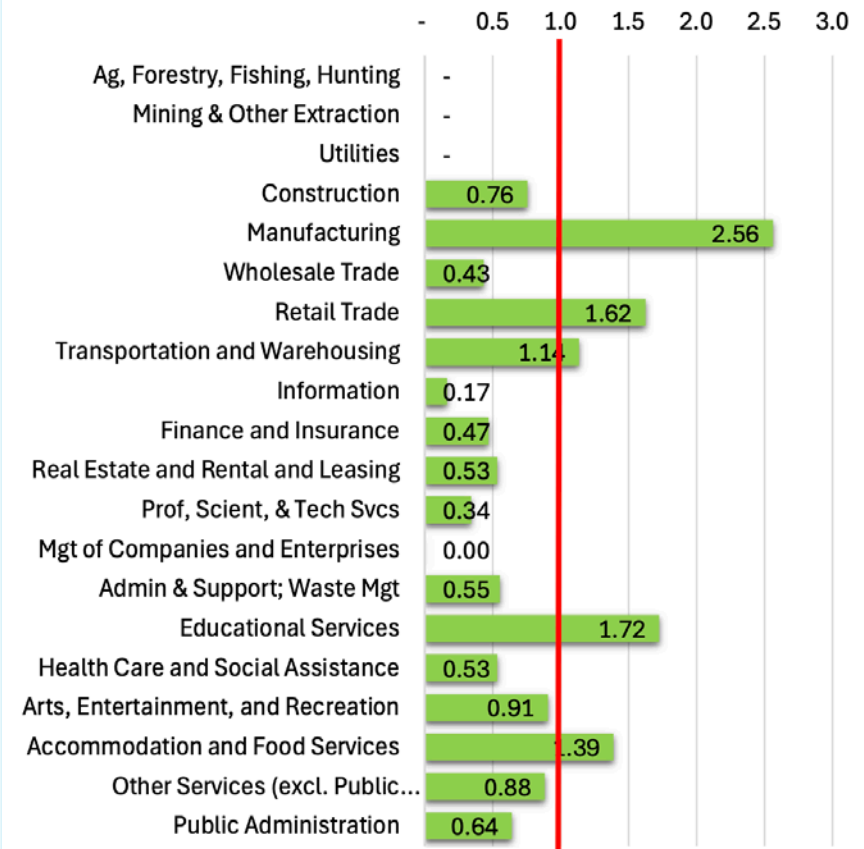
A key indicator of the strength and diversity of a city's economy is a measure call "location quotients." In this case, a location quotient is the ratio of the percent of jobs in an economic sector held by Wentzville residents or jobs by sector located in Wentzville and the percent of the same sector in the 15-county, bi-state St. Louis metropolitan statistical area.

Figure 14.8 compares the percent of jobs by sector in Wentzville to the same sectors in the metro area. A location quotient, or ratio, of 1.0 means that Wentzville has the same percentage as the metro area. High ratios indicate relatively stronger sectors in the city.

Very clearly, Wentzville's strongest economic sector as of 2022 is Manufacturing. With a location quotient of 2.56, Wentzville's in-city jobs are dominated by manufacturing, followed by the also-strong educational services and retail trade sectors. But Wentzville is not a factor in the regional economy in four sectors and is relatively weak in others, particularly those that generally require college educations and often pay better than other sectors.

Figure 14.8: Employment Location Quotients, 2022 | Wentzville Jobs Compared to the St. Louis Metro | Source: US Census Bureau, LEHD On the Map

Source: U.S. Census Bureau, LEHD On the Map

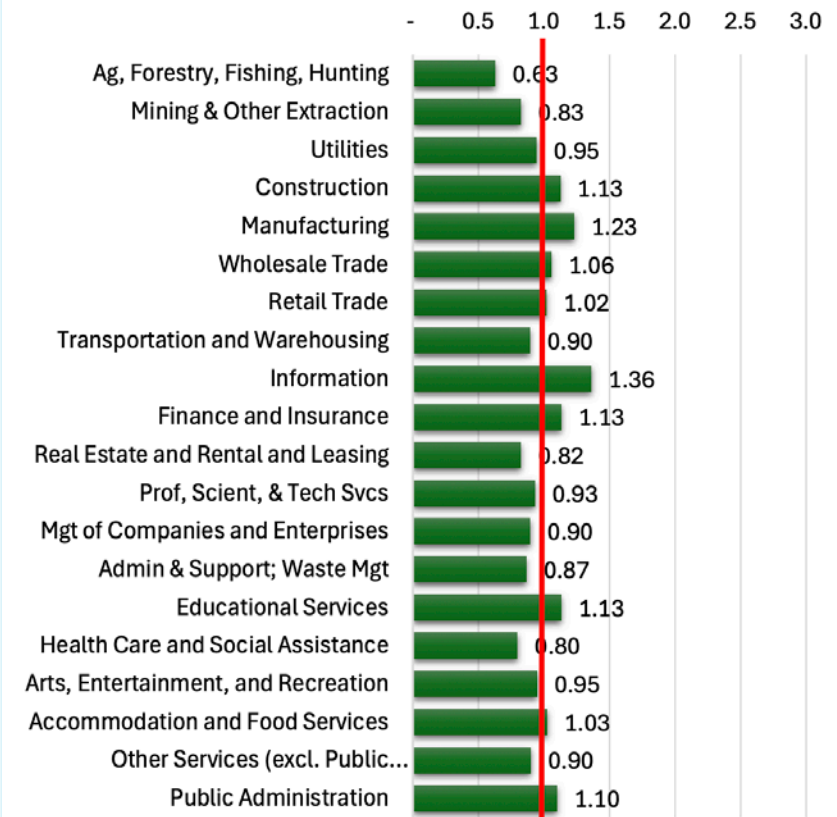


Socio-Economic Profile

Figure 14.9 paints a different picture regarding the Wentzville workforce, or the people in Wentzville who hold jobs regardless of where those jobs are located. The overall impression is that the workforce is fairly well-balanced in terms of the sectors in which they work compared to the entire metropolitan area. The highest location quotient is the Information sector with an LQ of 1.36. That is, Wentzville is home to a well-above average share of people employed in the Information sector. Several other sectors also exceed 1.0, but not by a great deal. And many sectors fall below the 1.0 threshold but, again, not by much. A high-level conclusion might be that Wentzville could attract more jobs in more sectors by demonstrating the highly diverse composition of its immediate workforce. More such jobs in Wentzville decreases commuting costs and congestion while greatly diversifying the local economy. Instead, most of that workforce has to commute to other cities and places for their jobs.

Figure 14.9: Workforce Location Quotients, 2022 | Sectors of Wentzville Residents vs the St. Louis Metro

Source: US Census Bureau, LEHD On the Map



Socio-Economic Profile

UNEMPLOYMENT RATES

Table 15 shows the 2010, 2015, 2020, and 2024 unemployment rates of Wentzville as compared to the county, region, and state using information available from the U.S. Department of Labor. Unemployment rates reflect the status of the resident labor force: How many city residents are employed vs. those not employed but nevertheless looking for employment.

In 2020, during the Covid 19 pandemic, the unemployment rate for Wentzville was notably below the rates for the metro area and the state of Missouri, but a little bit higher than St. Charles County. A similar relationship persisted into the average unemployment rates for 2024, but lower. It seems that all the selected jurisdictions reduced their unemployment rates at about the same pace. And all but the metro area were well below the generally accepted norm of about 4.0%.

Wentzville’s 2024 unemployment rate of 3.0% was lower than the city’s 2023 poverty rate, discussed earlier. This suggests that some households with poverty-level earnings are considered employed though at low rates of pay.

Table 15: Unemployment Rates 2010-2024				
Jurisdiction	Percentage of the Labor Force - Unemployed			
	2010	2015	2020	2024
Wentzville	7.0%	3.7%	5.5%	3.0%
St. Charles County	8.1%	3.9%	5.4%	3.1%
St. Louis, MSA	9.5%	5.1%	6.8%	4.1%
Missouri	9.4%	5.1%	6.2%	3.6%
Source: Bureau of Labor Statistics, Local Area Unemployment Statistics (LAUS)				

Socio-Economic Profile

LARGEST EMPLOYERS

The City of Wentzville provided its current estimate of the largest employers in the city. To no one’s surprise should be that General Motors leads the list with almost 4,600 employees. Oddly, however, the Census Bureau’s “On the Map” data series for 2022 identified just over 4,200 employees in the manufacturing sector, about 400 fewer than General Motors alone reported in 2025. In any event, this reminds everyone that different sources of data for seemingly similar topics can differ. Perhaps this is a miscalculation by the Census Bureau or it is a factor of different years of data. This specific economic sector also suggests some data challenges because there are other manufacturers in the city.

Note that these largest employers total just over 10,000 employees, though this must be tempered by the School District which extends beyond, and employs people outside of, the city limits. By excluding many non-Wentzville jobs of the School District, the above list represent roughly half of all jobs in the city based on the Census Bureau’s 2022 estimates.

Separately, Esri estimated for 2024 that Wentzville contained 1,124 businesses encompassing 17,600 employees. “Businesses” are not necessarily the same as “employers.” The City of Wentzville and the School District, which both show up on the Largest Employers list, may not be considered “businesses” in the Esri database. Again, there are challenges between different sources of data and/or different timeframes. Still, if the 1,124 businesses noted by Esri is a close approximation of all employers, the 11 largest employers list above make up only about one percent of all employers in the city. Wentzville is, thus, a city of many small businesses. Of course, another perspective can be that many of the “small businesses” are components or franchises of much larger corporations. Examples probably abound, such as McDonald’s restaurants, Schnucks Supermarkets, and Walmart.

Table 16: Largest Employers in the City of Wentzville

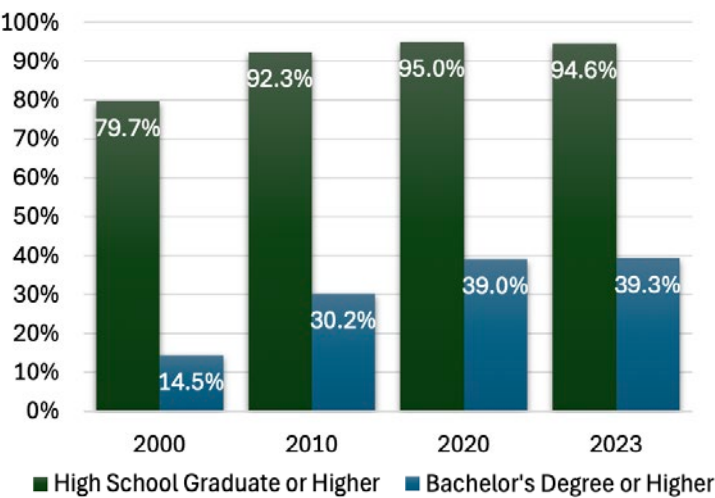
Employer	Product / Service	Full-Time Employees
General Motors	Motor Vehicle Assembly	4,595
Wentzville R-IV School District (across multiple cities)	Education	2,613
Lear Corporation	Vehicle Seating	542
Etrailer Corp.	Truck Accessories	491
Compass Health Network	Healthcare	460
City of Wentzville	Local Government	350
TVS	Logistics & Freight	290
Piston Automotive	Automobile Chassis	250
SSM St. Joseph Health Center - Wentzville	Healthcare	238
Rapid Response	Freight Shipping	121
RK Stratman Company Inc.	Silk Screening	99
Source City of Wentzville Survey of Employers		

Socio-Economic Profile

EDUCATION

The City of Wentzville (as a whole) is an educated community with 94.6% of its population over 25 years of age having at least a high school education or some form of advanced degree according to current Census estimates. In 2000, the number within the same category was at 79.7%. Thus, there has been a dramatic overall increase in the educational attainment of the City’s adult residents during the recent period of rapid population growth. This is also reflected in the previously discussed topics on improving household incomes and earnings. These impacts of incomes and occupations will influence housing demands in the future as well as private sector decisions to locate businesses and services within the City of Wentzville.

Figure 17: Educational Attainment High School and College, City of Wentzville | Population Age 25 or More
Source: US Census Bureau, American Community Survey



WENTZVILLE POPULATION BACHELOR’S DEGREE OR HIGHER

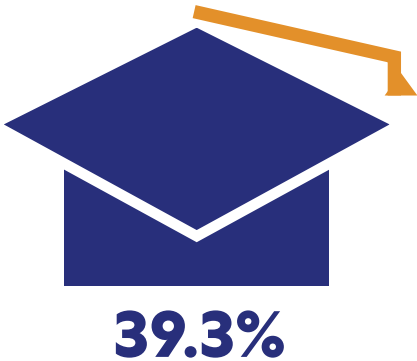


Table 17: Educational Attainment in Wentzville Population Age 25 or Over

Educational Attainment	2000	2010	2020	2023
Population 25 and Over	4,179	15,222	24,730	28,635
Less than 9th Grade	8.6%	2.9%	1.1%	1.3%
9th to 12th grade, no diploma	11.7%	4.7%	4.0%	4.0%
High School Graduate (includes Equivalency)	34.5%	23.2%	21.3%	19.2%
Some College, no degree	24.1%	29.5%	23.9%	24.4%
Associate's Degree	6.6%	9.4%	10.8%	11.7%
Bachelor's Degree	10.7%	22.0%	26.2%	26.3%
Graduate or Professional Degree	3.8%	8.2%	12.8%	13.0%
High School Graduate or Higher	79.7%	92.3%	95.0%	94.6%
Bachelor's Degree or Higher	14.5%	30.2%	39.0%	39.3%

Source: U.S. Census Bureau, American Community Survey

Socio-Economic Profile

RETAIL SALES

Table 18 shows the long-term trend in estimated retail sales in Wentzville based upon the City’s general sales tax, converted to constant 2025 dollar values. Retail sales by businesses in Wentzville are charged a local option sales tax rate of 1.0 percent. In 1995, an additional ½ percent voter-approved tax increase went into place for transportation along with another ½ percent voter-approved tax increase for capital improvements.

Figure 18 translates this progression in retail sales to per capita values for selected years 2000 through 2024 (that is, retail sales per each resident of the city). Of note is the relatively large per capita value of \$40,900 in 2000. This is likely attributable to the initial stages of Wentzville’s rapid population growth period. Retailers were quick to establish themselves in the city (think Wentzville Parkway) but the city’s population hadn’t yet caught up. With annexations and continued in-migration, a balance was struck between supportable retail sales and the size of the population in a range just below \$25,000 per year in 2025 dollars. The seemingly low value in 2010 is probably attributable to the woes of the Great Recession which lingered from 2008 to about 2012.

Of note is that each resident of Wentzville does not necessarily spend almost \$25,000 per year in retail sales in Wentzville. First of all, some retail spending by anyone at all takes place outside of one’s city of residence while traveling or visiting other cities. But that “leakage” is made up with retail sales to non-Wentzville residents. The city has become a significant retail destination for a large hinterland of residents in the St. Charles-Warren-Lincoln County area.

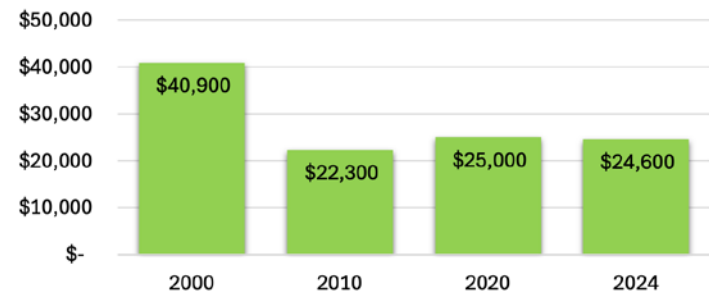
Table 18: Inflation Adjusted Retail Sales in Wentzville (1992-2024) in 2025 Dollars

Year	Retail Sales	Year	Retail Sales
1992	\$260,216,000	2009	\$635,223,000
1993	\$253,262,000	2010	\$648,709,000
1994	\$252,044,000	2011	\$659,511,000
1995	\$282,390,000	2012	\$708,480,000
1996	\$291,034,000	2013	\$750,672,000
1997	\$251,651,000	2014	\$815,345,000
1998	\$254,901,000	2015	\$897,560,000
1999	\$266,396,000	2016	\$954,334,000
2000	\$281,777,000	2017	\$1,010,756,000
2001	\$401,236,000	2018	\$997,522,000
2002	\$445,644,000	2019	\$1,039,636,000
2003	\$527,310,000	2020	\$1,108,243,000
2004	\$546,362,000	2021	\$1,143,927,000
2005	\$618,313,000	2022	\$1,138,509,000
2006	\$543,279,000	2023	\$1,142,849,000
2007	\$615,290,000	2024	\$1,194,403,000
2008	\$622,870,000		

Sources: City of Wentzville; U.S. Bureau of Labor Statistics Inflation Calculator

Figure 18: Wentzville Per Capita Retail Sales in Constant 2025 Dollar Values, 2000 to 2024

Source: City of Wentzville and US Inflation Calculator



Socio-Economic Profile

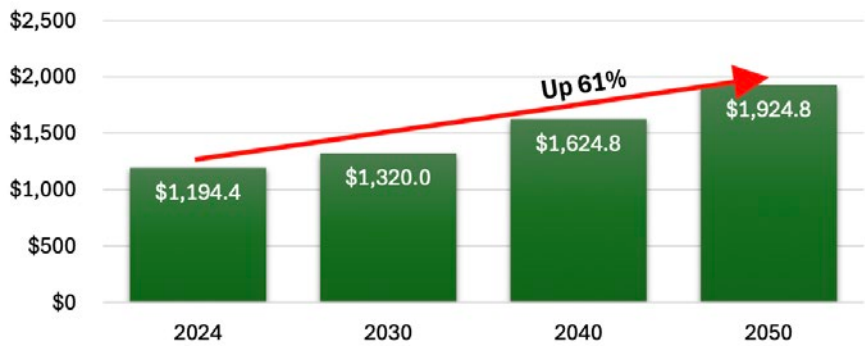
If a “steady-state” volume of retail sales per capita of, say, \$24,000 (average of 2010 to 2024—again in 2025 dollars) can be sustained, and the population of Wentzville advances as suggested by the previously discussed Table 9.5 (reproduced here), the city might expect overall retail sales to expand from almost \$1.2 billion (\$1,194.4 million) in 2024 to over \$1.9 billion in 2050, more than a 60% rate of growth, shown on Figure 18.5.

Theoretically, of course, this suggests something like a 60% increase in the amount of land and building area to support those retail sales.

In predictable ways, however, this rate of retail sales growth will probably not be that aggressive for Wentzville. At present, the city’s retailers rely on many shoppers and diners from communities outside of Wentzville. As those places continue to grow, they will certainly develop their own retail concentrations closer to the increased densities of population and housing—just as Wentzville has. Those communities, therefore, will become less dependent on shopping and dining in Wentzville. Thus, planning for sufficient land to accommodate 60% more growth will likely be unnecessary.

Figure 18.5: Projected Wentzville Retail Sales in Constant 2025 Dollars Based on Per Capita Sales 2024-2050 (\$millions)

Source: City of Wentzville and US Inflation Calculator



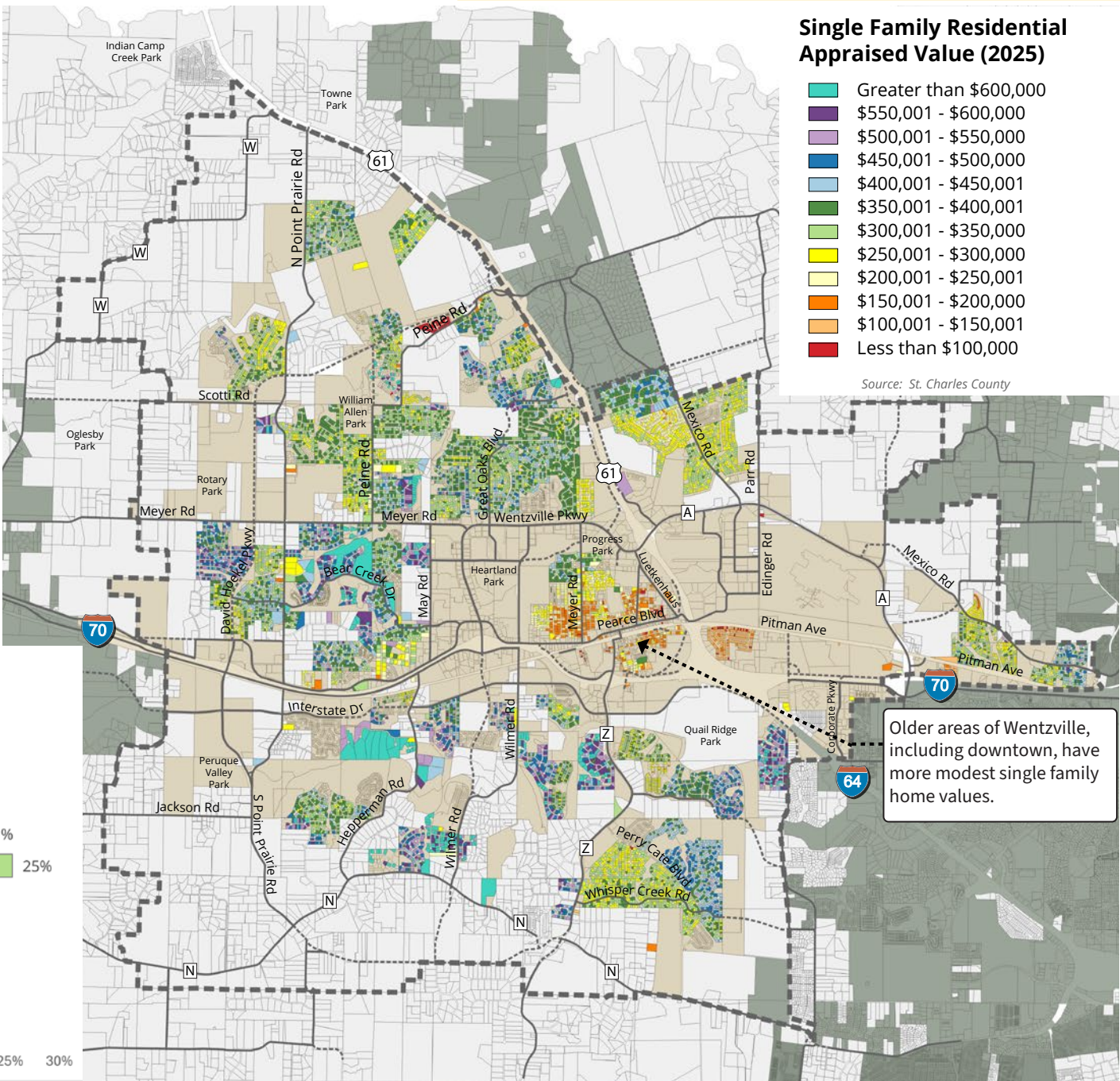
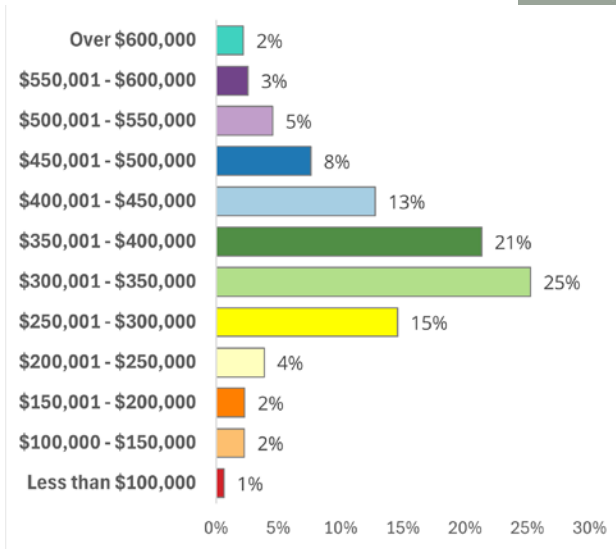
Housing

Approximately one-quarter of single-family homes in Wentzville have an appraised value between \$300,001 and \$350,000. Nearly half (46%) fall within the \$300,001 to \$400,000 valuation range.

The map on this page illustrates the distribution of single-family residential home values across the city.

Figure 19: 2025 Single Family Residential Appraised Value

Source: St. Charles County, i5Group



Housing

Wentzville offers a wide range of housing types across various price points. Figure 19 illustrates the percentage of homes within each valuation category. This page and the following page provide examples of housing types represented in each appraised valuation range, based on St. Charles County's appraisal data.

\$100,000 - \$200,000



\$200,000 - \$300,000



\$300,000 - \$400,000



Housing

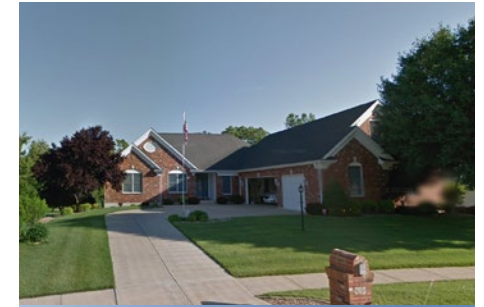
\$400,000 - \$500,000



\$500,000 - \$600,000



Over \$600,000



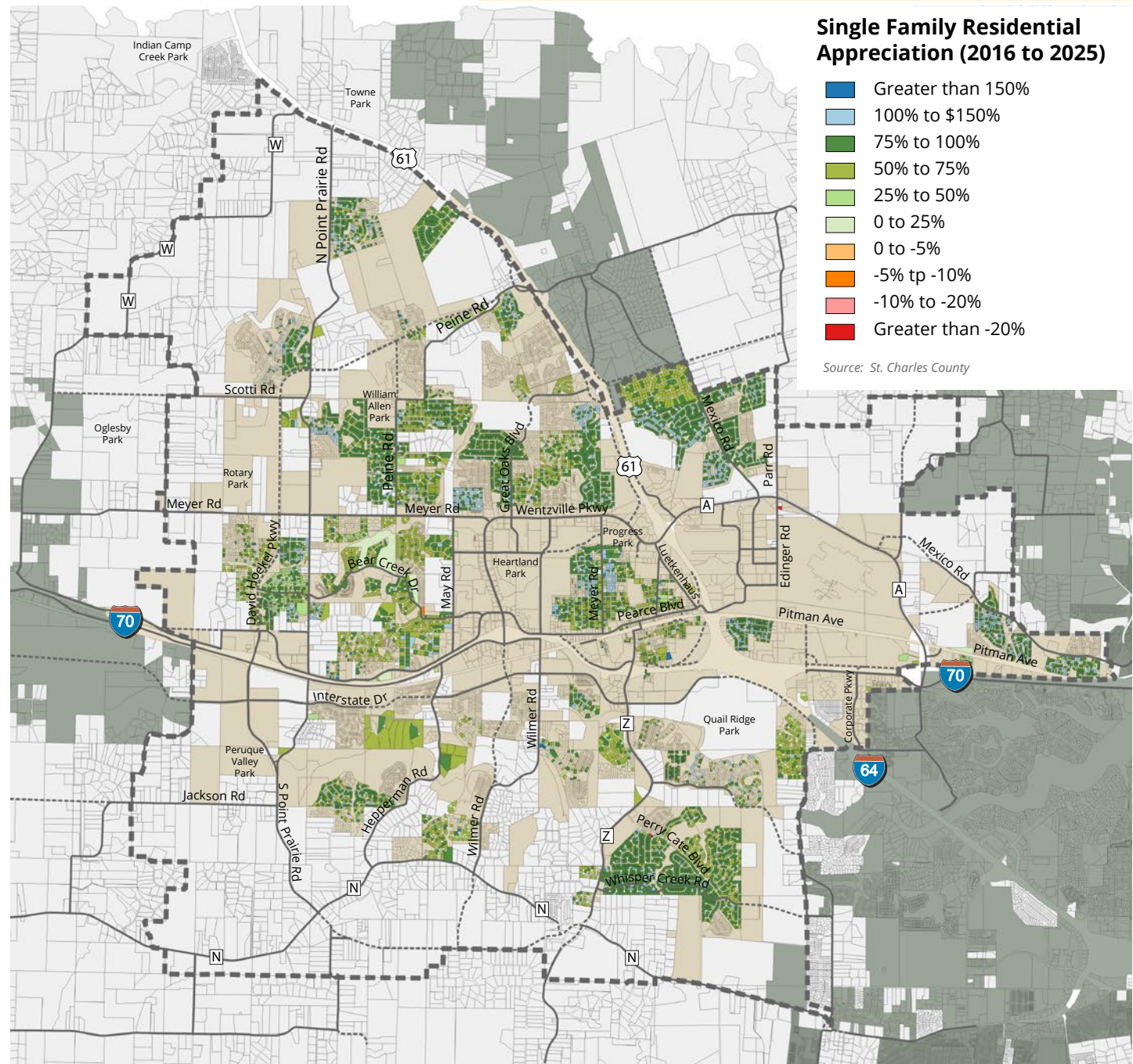
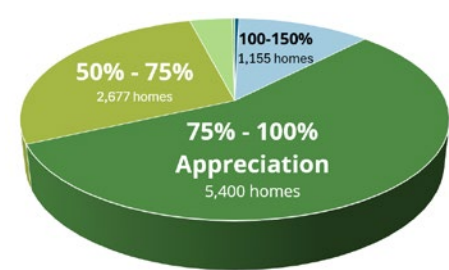
Housing

Since 2016, nearly 7 out of 10 single-family homes in Wentzville have appreciated in value by more than 75%. Over half of all single family homes have appreciated between 75% and 100%.

Table: Number of Homes at Different Appreciation Rates

Appreciation	Units	%
Greater than 150%	35	0.4%
100% to 150%	1155	12.0%
75% to 100%	5400	55.9%
50% to 75%	2677	27.7%
25% to 50%	370	3.8%
0 to 25%	17	0.2%
0 to -5%	2	0.0%
-5% to -10%	1	0.0%
-10% to -20%	0	0.0%
Greater than -20%	2	0.0%

Number of Homes at Different Appreciation Rates



Housing

More than eight out of ten housing units in Wentzville are single-family detached homes. At 83.4% as of 2023, this is the highest percentage of single-family detached homes among nearby cities as shown on the following pages. There was an increase of single-family detached homes between 2010 and 2023 of almost 5,900 units and the share of such units increased slightly from 81.6% in 2010 to 83.0% in 2020 to 83.4% in 2023.

The share of single-family detached homes throughout St. Charles County is notably less than in Wentzville at just under three quarters. The overall national rate is just over six in ten housing units that are single-family detached. O’Fallon, Missouri, approximates the county rate as the nearest to Wentzville’s rate.

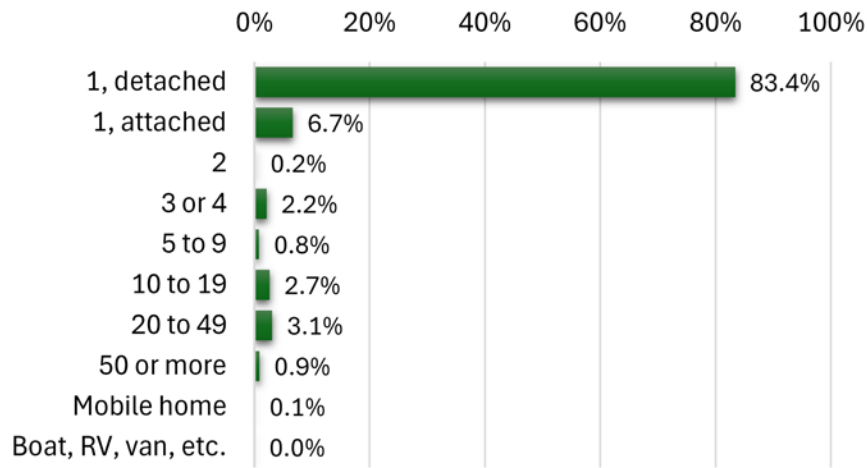
The Wentzville increases are consistent with the size and growth of families and households as noted elsewhere in this report. Wentzville households are, on average, larger and have more children than nearby communities.

But it also means that Wentzville has a less diverse stock of housing options for newcomers or existing families desiring other forms of housing during their life cycles. St. Charles and St. Peters have diversified notably as these cities try to accommodate their changing (often aging) households with smaller and denser housing units such as villas or townhomes and a variety of apartment structures. For instance Wentzville ranks last on these charts for shares of villas/townhomes, tri-plex and quad-plex units, and apartment buildings of all sizes.

As Wentzville’s households likewise age-in-place over time, there could very well be market pressures to increase the number and share of other housing options so that people can find alternatives that fit their changing lifestyles while choosing to remain residents of Wentzville.

**Figure 19: Percent of Housing Units by Units per Structure
City of Wentzville, 2023**

Source: 2023 U.S. Census, American Community Survey



Housing

Single-family (detached) housing is the primary residential type in Wentzville. Compared to nearby cities, Wentzville has a significantly higher share of single-family homes at 83%.

This and the following page compares Wentzville to other St. Charles County cities for the percentage of various housing types, including:

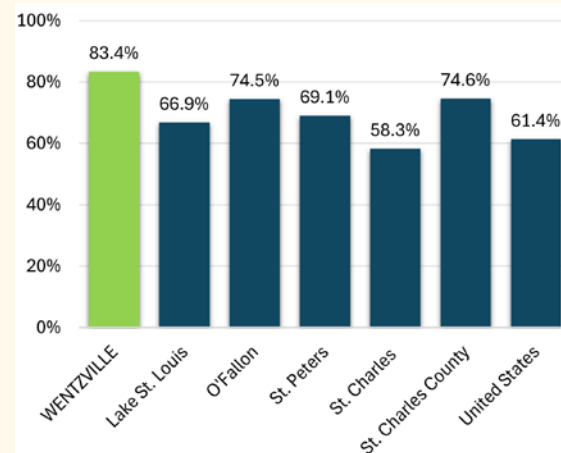
- Single-Family
- Villas/Townhomes
- Tri-Plex or Quad Plex
- Small Apartment Complexes
- Medium to Large Apartment Complexes

Compared to nearby cities, Wentzville has a significantly higher share of single-family homes at 83%.

SINGLE-FAMILY (Detached homes)



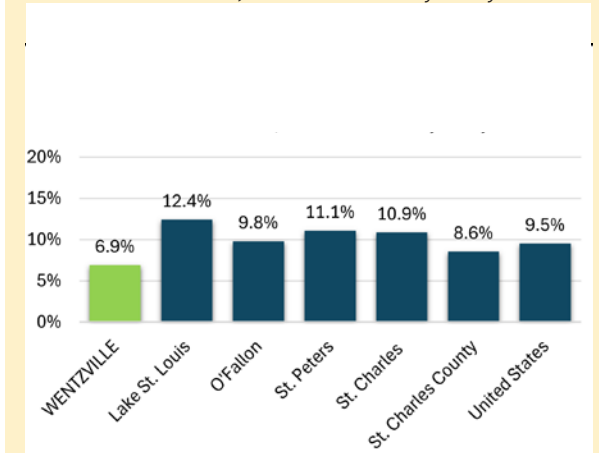
Single Family Homes as Percent of All Housing Units
Source: 2023 U.S. Census, American Community Survey



VILLAS / TOWNHOMES (Attached homes and 2-unit structures)



Villas/Townhomes as Percent of All Housing Units
Source: 2023 U.S. Census, American Community Survey

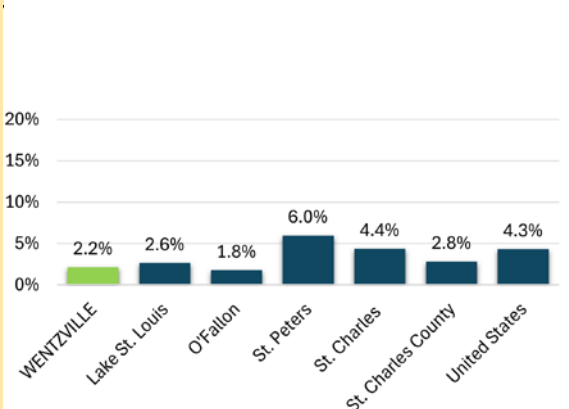


Housing

TRI-PLEX OR QUAD PLEX (3-4 unit structures)



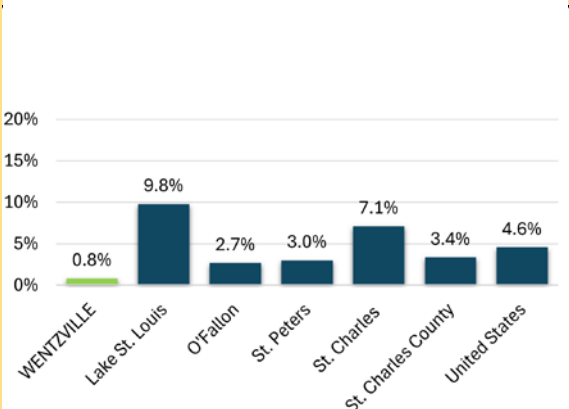
Tri-Plexes or Quad Plexes as Percent of All Housing Units
Source: 2023 U.S. Census, American Community Survey



SMALL APARTMENT COMPLEXES (5-9 unit structures)



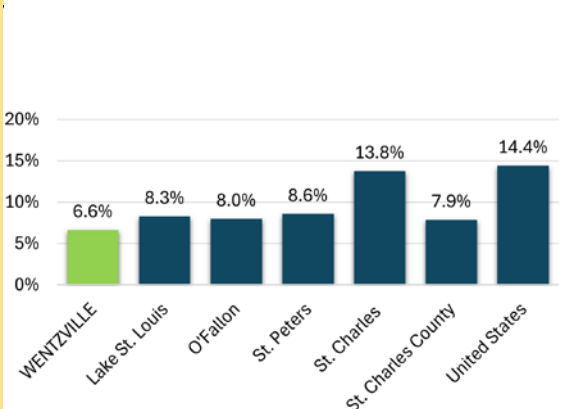
Small Apartment Complexes as Percent of All Housing Units
Source: 2023 U.S. Census, American Community Survey



MEDIUM TO LARGE APARTMENT COMPLEXES (10 or more unit structures)



Medium to Large Apartment Complexes as Percent of All Housing Units
Source: 2023 U.S. Census, American Community Survey



Housing

This page examines single-family home parcel sizes in Wentzville. The chart below highlights trends in parcel sizes since 2007, comparing average and median parcel sizes across two time periods. It also includes a comparison with the neighboring communities of O’Fallon and Lake Saint Louis.

Parcel sizes have remained relatively consistent over time, with both average and median lot sizes generally ranging from approximately one-fifth to one-quarter of an acre. Overall, single-family parcel sizes in Wentzville, O’Fallon, and Lake Saint Louis show similar patterns.

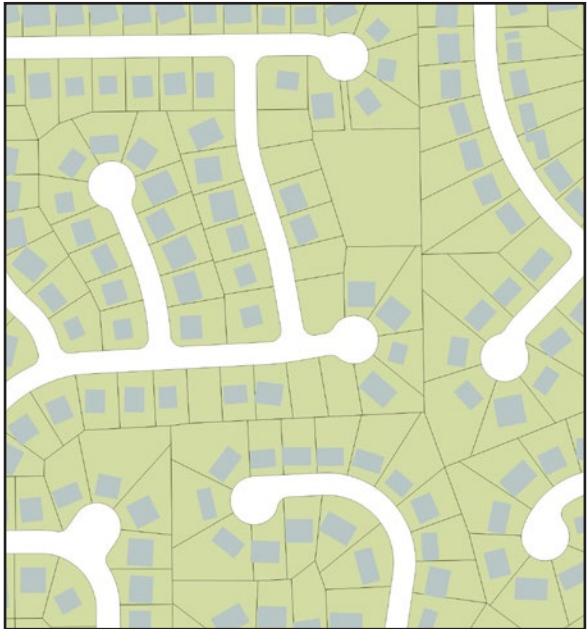


Table 20: Parcel Size (in Acres) of Single-Family Homes

Source: St. Charles County GIS, i5Group

	Wentzville		Lake Saint Louis		O’Fallon	
	Avg	Median	Avg	Median	Avg	Median
2016 - 2024	0.23	0.21	0.26	0.22	0.25	0.21
2007 - 2015	0.26	0.23	0.26	0.23	0.24	0.21

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