

Fence Regulations, Permits and Installation Guide

This document may not cover all fence code requirements and is to be used as a guideline only. The information found within this guide is in relation to the City's fence requirements found in Section 405.490 of the Zoning Regulations Section of the Municipal Code.

PERMIT REQUIRED

A permit is required to build a fence in the City of Wentzville and is administered by the Building Department. The permit fee is calculated using the provided estimated cost of construction multiplied by 0.0050, with a minimum of (\$35.00) thirty-five dollars, in addition to a (\$50) fifty dollar plan review fee. Permits shall be applied for on the City's website or inside the City Hall Building in the Community Development lobby. A scaled drawing showing the location of the proposed fence on the Plot Plan and a description of the fence type, material and height. An approved Plot Plan for the lot can be provided to you by the Building Department by request on our website or in our office. A fence permit can be approved within 5-7 business days after all required information is acquired with the permit application, the permit may be reviewed and potentially approved while you wait in our office by appointment. All submitted documentation shall be a hard copy or in .pdf format and shall be clean and legible. Permits are valid for 180 days from the issuance date and 180 days from the last approved inspection date.

NOTICE: City permit approval Does Not constitute subdivision approval. Please contact your subdivision's H.O.A. for any of their requirements.

INSPECTIONS REQUIRED

Two (2) inspections are required for a fence permit, the contractor or homeowner shall submit an inspection request online or call the Building Department to schedule an inspection at least 24 hours in advance.

1. Fence location inspection shall be approved prior to constructing the fence. String a line or mark the location of your fence (flagging, painting, etc.) so the Building Department can inspect the proposed placement of the future fence. The City encourages you to speak with your neighbors to work out all private property details. If property lines are in question a spot survey is recommended by a licensed land surveyor.
2. Final inspection for compliance with all applicable standards.

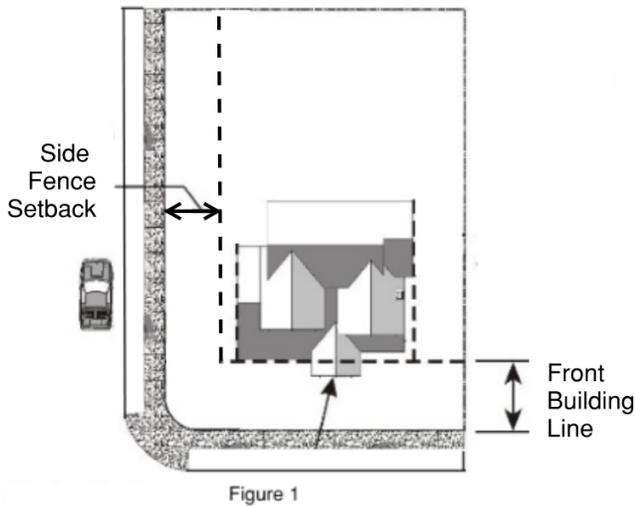
Property owners are ultimately responsible for the finished location of the fence.

GENERAL RULES

Fence regulations are intended to improve and maintain the overall appearance of the community. This guide intends to offer basic information to help the customer place a fence in the correct place on the property and to follow all fence codes. The following are general guidelines, which apply to fences in the City, and are not all encompassing:

1. Barbed wire fences or barbed wire on fences shall be prohibited except as specified.
2. Chain link fences shall be the double knuckle type at the top on fences less than six feet in height.
3. Due to large accumulation of trash and scattered debris occurring in commercial and multi-family residential properties, the landowners of those properties are hereby required to erect and maintain a privacy-fence enclosure around trash disposal areas. The fence shall be at least six feet in height.
4. All fences shall be of adequate strength to resist wind pressures.
5. It shall be the responsibility of the property owner to ensure that a fence does not block or obstruct any manhole or inlet covers nor disturb/impede the existing drainage patterns/swales or the natural flow of stormwater.
6. Maximum fence height shall not exceed (6') six feet. Chain-link fences shall not be constructed higher than four feet above the surrounding grade. Masonry, durable wood, vinyl (privacy type fence) shall not be constructed higher than six feet above the surrounding grade.

7. All fences shall be constructed with the finished side out, facing the neighbors and/or the public view. All horizontal and vertical supports are to be interior to the lot being fenced.
8. Fences are not permitted in a required front yard.



FENCE LOCATION REGULATIONS

1. No person shall erect or maintain a fence between the front building line of the residence and the public roadway.
2. Due to the exceptional nature of double frontage lots (or through lots), fences proposed along the rear of the property adjacent to public streets shall not be located any closer than the street right-of-way.
3. On corner lots, (see Figure 1 for details) no person shall erect or maintain a fence between the residential building line and public roadway for the front/primary elevation of the home. Fences on corner lots along the secondary street frontage shall not be established closer than 10 feet to the property line along the secondary frontage (side street) provided such placement of a fence adjacent to a secondary street frontage shall not cause any sight distance or safety issues for automobile travel. NOTE: THE PROPERTY LINE MAY NOT BE THE EDGE OF PAVEMENT OF THE PUBLIC STREET. PUBLIC RIGHT OF WAY EXISTS ON BOTH SIDES OF THE PAVED STREET. THE PLOT PLAN WILL SHOW ALL PROPERTY LINES, EASEMENTS AND RIGHT OF WAY LOCATIONS.

NOTICE

If portions of the fence are located within a Swale in which during large rain events a Swale may have a large volume of water which is noted on the approved plans; some restrictions may apply. Adjusting the location of the fence to be outside of the Swale is advised, however, an open picket fence (3" min. openings) is permitted, or another form of fence design, in which the staff can review for approval, that allows the conveyance of stormwater

in the designed swale. It is the responsibility of the property owner that the fence be installed and maintained in a manner as to not impede the flow of stormwater and any soil erosion or damage caused by or to the fence from the flow of stormwater, within the designed swale constructed to convey the water, is the sole responsibility of the property owner.

To inquire if your lot has fence restrictions per the Engineering Department, check the city approved plan, or call (636) 639-5101.

MAINTENANCE

You as a property owner are required to repair, paint, remove or otherwise maintain your fence if it becomes unsightly or a nuisance to the public health, safety or welfare.